

2.0 Site Context Analysis

2.10 Brickwork

BRICKWORK

Shoreditch provides a richness of architectural character that has informed the development of the proposed response. The area has a rich context of Victorian warehouse buildings with varying degrees of scale and ornament.

As part of understanding the context of the site the design team undertook an analysis of the brick bonds and tones exhibited in the surrounding area to inform an approach to the elevations as demonstrated on the subsequent pages.

The images to the right show a selection of examples of the existing variety of the brick bonds and colours of the local area.



1. Flemish Bond



2. Flemish Bond



3. English Bond



4. English Bond



5. Stretcher Bond



6. Flemish Bond



7. English Bond



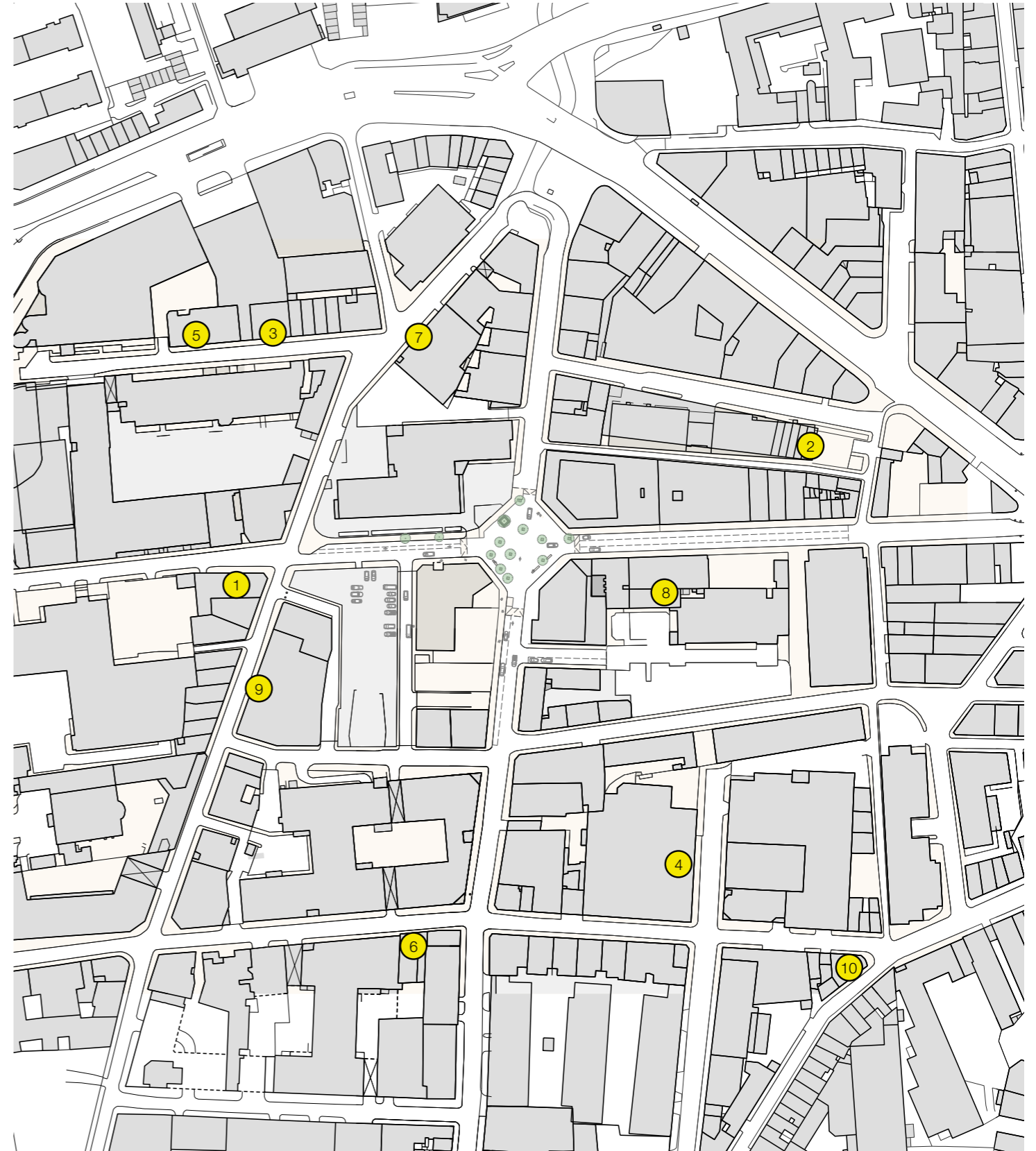
8. Flemish Style Bond



9. Stretcher Bond



10. Headers Bond



Area of brick and bond analysis adjacent to the site

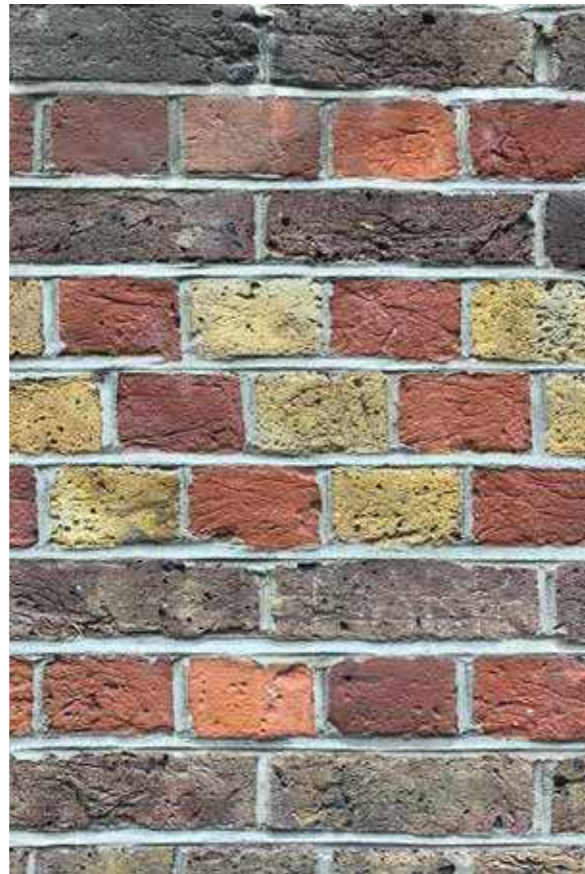
2.0 Site Context Analysis

2.10 Brickwork

BRICKWORK cont.

Expressive brickwork is characteristic of a number of buildings in area. Notably the brickwork of the Grade I listed St Michael's and All Saints Church. Here the brickwork has a polychromatic character with yellow and red headers and stretcher bricks bonds alternate the main brown stretcher bond to create the polychromatic effect of its facade which was a key feature of the work of the architect, James Brooks, at the time.

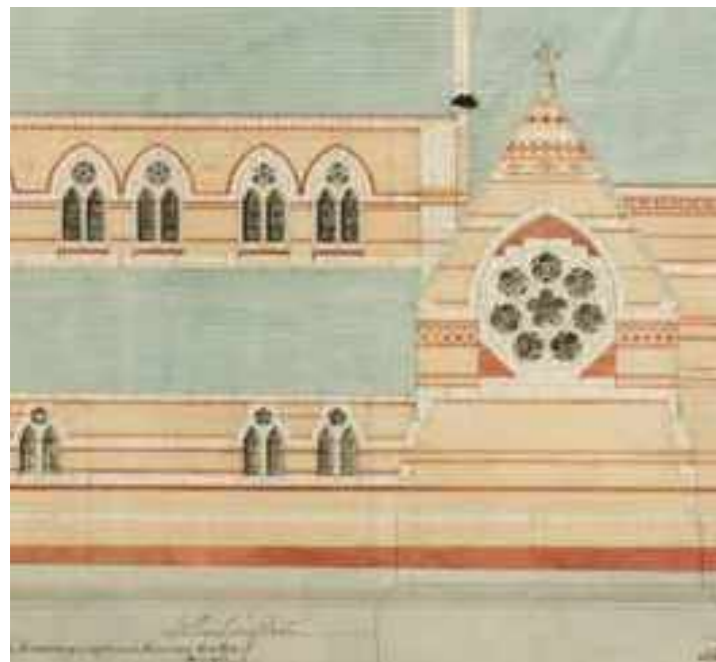
Other Victorian buildings which take a stronger approach to coloured brickwork are the rich façades of public houses dotted around the area. These employ green glazed faïence tiles or bricks which have a dramatic effect in the streetscape as shown in the images on the right of this page.



Polychromatic brickwork and brick bonds of St Michael church



Polychromatic brickwork of St Michael church



Polychromatic brickwork of St Michael church



Shoreditch colourful Victorian glazed bricks



Shoreditch colourful Victorian glazed bricks



Shoreditch colourful Victorian glazed bricks

3.0 Process of Design

3.0 Process of Design

3.1 Introduction

This section outlines the process of consultation undertaken for the 2019 permission and how the scheme evolved from initial discussions commencing with the London Borough of Hackney (LBH) in 2017.

A comprehensive pre-application consultation process has been undertaken with the consultees listed below and through public exhibitions held in September 2017.

CONSULTEES

- London Borough of Hackney (LBH)
- LBH Design Review Panel
- LBH Highways
- LBH Sustainability
- Greater London Authority (GLA)
- Transport for London (TfL)
- Thames Water
- UK Power Networks (UKPN)
- Public Consultation
- Metropolitan Police Service (MPS) Crime Prevention Design Advisor

The following sections summarise the key comments raised during the consultation process. The information also identifies how comments and feedback have been addressed in the proposed scheme.

A full description and evaluation of pre-application public and stakeholder consultation is provided within the accompanying *Statement of Community Involvement* prepared by Kanda Consulting.

3.2 Consultation on Design Development

LONDON BOROUGH OF HACKNEY

A number of pre-application meetings have been held with planning officers at the London Borough of Hackney (LBH).

The feedback received from these sessions has driven the proposal's development as presented in chapter *4.0 Design Proposal*.

LBH PRE-APPLICATION MEETINGS

Pre-application meetings have been held with LBH on a fortnightly basis commencing in June 2017 and continuing through to September 2017. The meetings focused on key aspects of the scheme including land use, massing and height of the building, relationship with future massing of the adjoining hotel site under development, and access and servicing.

LBH DESIGN REVIEW PANEL

As part of the consultation process and design development, the scheme has benefited from a LBH Design Review Panel (DRP).

The Design Review Panel was held on the 24th August 2017. The DRP welcomed the proposal's massing, height and materiality. The DRP suggested points of improvements related to the GF frontage and the numbers of tones and effects of the facade. The comments were addressed in the design development and presented to the LBH during the last pre-application meeting.

LBH HIGHWAYS

There has been one meeting with LBH Highways to discuss the detail of particular aspects of the scheme.

The meeting was primarily to discuss the proposed servicing and waste management strategy for the site and the provision of cycle parking. It was suggested that the development of the servicing strategy would have to take into account the aim to limit the proliferation of loading bays on the area, with a preference for servicing the building using the single yellow lines on Paul Street. The waste collection was discussed and agreed through the private Kiffen Street. With respect to accessible parking provision, it has been discussed and agreed in principle the use of the existing accessible parking bay close to the site.

UK POWER NETWORKS

The Design Team have ongoing discussions with UK Power Networks (UKPN) since June 2017, in regard to the live substation and its relocation, access and servicing requirements as part of the design proposal.

CURRENT APPLICATION JUNE 2022

The principles set out and agreed during these consultations have been carried through to the current application.

3.0 Process of Design

3.3 Public Consultation

OVERVIEW

As part of the team's commitment to consultation with local stakeholders and residents several activities were arranged to present the proposals of Development House and to listen to stakeholders' comments.

Two public consultations have been held which include the first in 2017 as part of the 2019 permission and in 2022 for the current application process. Further detail on the public consultation is provided in the Statement of Community Involvement prepared by Kanda Consulting.

PUBLIC CONSULTATION EXHIBITIONS

2019 Permission

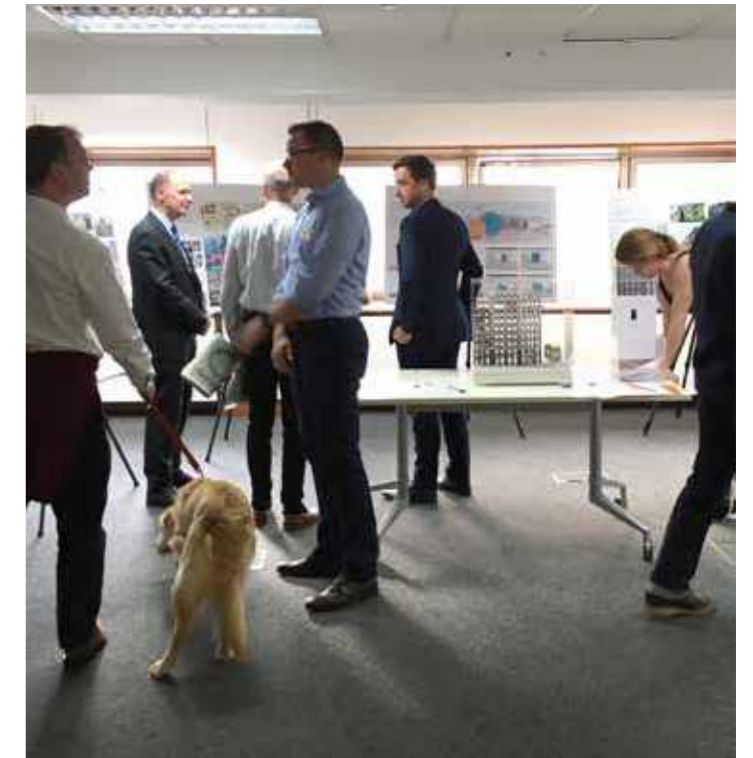
A public exhibition was held for the 2019 permission on Thursday 28th September 2017, within the existing Development House building. Over a week in advance of the exhibition taking place, a newsletter advertising the event was sent to 933 local addresses surrounding the site. The purpose of the exhibition was to explain the vision for the site, identify key local issues and provide an opportunity for neighbours and wider public to communicate their feedback to members of the development and design team, including representatives from Dartmouth Capital, GVA, AHMM, Bluecroft Ltd and Kanda Consulting. The exhibition provided the opportunity for local residents to raise any concerns they may have relating to the proposed development of the site. In total 19 people attended the exhibition, including the existing office workers and visitors arriving from a wide number of surrounding streets. Feedback confirmed broad support for the scheme, particularly for the replacement of the existing building with a higher quality one.

The Current Application

A public exhibition was held on 16th June 2022 on site, the purpose of which was to update the public on Development House and the new application including the changes compared to the 2019 permission. The key changes were clearly communicated at the exhibition and included an improved urban greening, move from CHP to air source heat pumps, more facilities for cyclists, higher efficiency electrical heating, and building fabric enhancements. Prior to the exhibition letters were sent 1411 local addresses, 2 important local groups and 4 political stakeholders. The public consultation was attended by 22 local people, comprising of a mix of local residents, people working in the area or people passing by during their leisure time. Representatives from DCA, Kanda, GVA and AHMM were on hand to take attendees through the boards and answer any queries. Overall feedback received through the public consultation has been positive, with everyone who attended the exhibition welcoming the redevelopment of the building.



Public exhibition September 2017



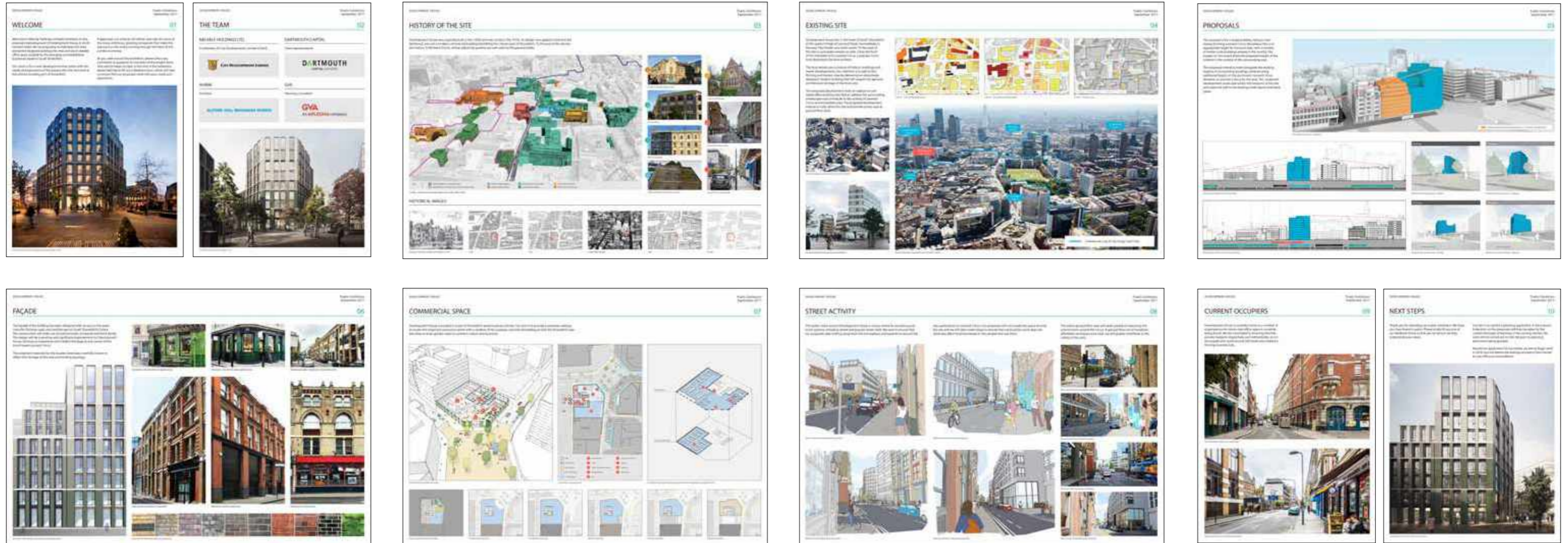
Public exhibition September 2017



Public exhibition September 2017

3.0 Process of Design

3.3 Public Consultation 2017



Public consultation exhibition boards from September 2017

3.0 Process of Design

3.3 Public Consultation 2022

WELCOME

Public Exhibition June 2022

1

Welcome to Hatched Holdings Limited's exhibition on the proposed redevelopment of Development House at 56-64 Leonard Street. We are proposing to redevelop this listed and partly listed building into new and much-needed office space suitable for the emerging and established businesses based in South Shoreditch.

As you walk around the exhibition, please direct any comments or questions to members of the project team, who will be happy to help. At the end of the exhibition, please feel free to fill in a feedback form, to help us understand your views.



TIMELINE

Step	2017	Jul 2018	Mar 2019	Mar 2020	Jun 2022
Previous public exhibition					
Hatched Holdings Limited's Planning Committee resolved to grant the planning application					
Planning permission granted					
Construction starts					
New public exhibition on proposed planning application					

THE TEAM

Public Exhibition June 2022

2

MELVALE HOLDINGS LTD.
A subsidiary of City Developments Limited (Client)

DARTMOUTH CAPITAL
Client representative

CITY DEVELOPMENTS LIMITED
Architect

AMMM
Architect

ALFORD HALL MONAGHAN MORRIS
Architect

DARTMOUTH CAPITAL
Client representative

AVISON YOUNG
Planning Consultant



HISTORY OF THE SITE

Public Exhibition June 2022

3

Development House was originally built in the 1850s and was listed in the 1970s. Its design now appears grand and substantial, and not a modern commercial building towering the vibrant part of Shoreditch. To the east of the site lies the historic St Michael Church, whose adjoining gardens are well used by the general public.



HISTORICAL IMAGES



EXISTING SITE

Public Exhibition June 2022

4

Development House lies in the heart of South Shoreditch, at the eastern fringe of Leonard Street. Immediately to the east, four streets run north-south. To the west of the site is a privately owned car park, while the front of the site faces onto Leonard Street, a popular local-time destination for local workers.



EXISTING SITE



PROPOSALS

Public Exhibition June 2022

5

The proposal is for a single building rising to nine stories forming Leonard Circus. We believe this is an appropriate height for the site area, with a number of similar scale buildings already in the vicinity. The height on this board shows the proposed height of the scheme in the context of the surrounding area.



PROPOSALS



FAÇADE

Public Exhibition June 2022

6

The façade of the building has been designed with an eye on the area's colourful Victorian past, and another eye on South Shoreditch's future. The construction will reuse a lot of high-quality bricks and stone blocks. The design will be a sensitive and significant improvement on Development House, having an impressive and modern heritage of the corner of the historic Leonard Circus.

The proposed materials for the façades have been carefully chosen to reflect the heritage of the area and existing topology.



FAÇADE



COMMERCIAL SPACE

Public Exhibition June 2022

7

Development House is located in a part of Shoreditch where business thrives. Our aim is to provide businesses wanting to locate in the vibrant economic centre with a modern, fit-for-purpose commercial building so that the Shoreditch area becomes an even greater asset to London's culture and economy.



COMMERCIAL SPACE



STREET ACTIVITY

Public Exhibition June 2022

8

The public realm around Development House is a busy centre for walking and cycling, including varied and popular street scenes. We want to ensure that our proposals take nothing away from the atmosphere and experience around the site, particularly on Leonard Street. Our proposals will not invade the space around the site and we will take careful steps to ensure that construction work does not adversely affect local businesses or the people who use them.



STREET ACTIVITY



WHAT'S CHANGING

Public Exhibition June 2022

9

While the majority of the proposals have remained the same, including the height, massing and design, some small changes have had to be made to our proposals to bring them up to date with changes to planning policy.

IMPROVED URBAN GREENING

- Adding a green roof, with planting and wildflower planting
- Adding more planting to the terraces
- Adding green walls

URBAN GREENING FACTOR

Urban Greening Factor is a measurement between 0 and 1 which rates the quality and quantity of urban greening. The London Plan requires commercial buildings to reach an Urban Greening Factor of 0.5. Our proposals for the site, including the new planting on the building will help it achieve an Urban Greening Factor of 0.5.



CHP + AIR SOURCE HEAT PUMPS

Combined heat and power (CHP) is a highly efficient form of gas electricity generation which makes use of the heat that is generated.

Air source heat pumps transfer heat from outside air to water, which then heats the building via radiators or underfloor heating. Unlike burning gas or oil, an air source heat pump produces no carbon emissions on-site – and costs as little as a renewable source of electricity to supply power them. The benefits of a CHP + Air Source Heat Pump system are:

- CHP + Air source heat pumps will be located on the roofs of the buildings.

MORE FACILITIES FOR CYCLING

Both Hatched Council and the Mayor of London have strengthened the requirements for excellent cycling facilities in office buildings. The new proposals will include more secure cycle spaces and other cycling facilities such as showers, to help attract every member our needs team to work.

OTHER SUSTAINABILITY MEASURES

- Electric water heating with high-efficient, low-demand sanitary fittings
- Enhanced fabric efficiency – 10% improvement reducing energy demand for heating cooling
- Enhanced fresh air supply improving overall indoor air quality and comfort

NEXT STEPS

Public Exhibition June 2022

10

Thank you for attending our public exhibition. We hope you have found it useful. Please fill in one of our feedback forms so that we can ensure we fully understand your views. Our aim is to bring a planning application to the Council.

A decision on the proposals will then be taken by Hatched Council in the coming months. Should our application be successful, we aim to begin work in 2023.



NEXT STEPS



Public consultation exhibition boards from June 2022

3.0 Process of Design

3.4 Designing Out Crime

Consultation was undertaken with the Metropolitan Police Service (MPS) regarding crime prevention. A meeting was held with a MPS Crime Prevention Design Advisor for the previous 2018 permission where the scheme was reviewed in detail.

In general, the key principles of the scheme were supported by the advisor and no fundamental concerns raised.

A summary of comments is provided below. These will be addressed as part of the detailed design development of the scheme.

External Access and Articulation

- 24h concierge assumed. Care to be taken if any public activity will open outside the concierge cover time.
- Ground level uses and avoidance of crime: the additional entrance at the corner between Kiffen Street and Leonard Street, serving the retail, will allow people to enter the building without presenting themselves to the reception. Ensure security lines location next to reception plus additional security line at each floor level.
- External Entrance Doors: LPS 1175 or LTS 202 or higher.
- Terrace doors and windows PAS 24:2012. Terraces should be provided with external uniform light and not sensor activated.
- Fire Alarm / Fire Strategy: doors to remain locked from outside in, to preclude unwanted access during a fire alarm scenario.
- Self closing and self locking windows and doors at Ground Floor on Kiffen Street.
- FOBs to doors should be encrypted and the FOBs data should be recorded.
- Security barriers should be accredited.

Internal Planning and Circulation

- Secure Access Routes: provision of second set of doors / barriers for security and to minimise the risk of people tailgating into the building. Main reception already provides this, but strategies for a second secure line to be reviewed at the office floors and at the secondary entrance on Kiffen Street.
- Cycle Store Compartmentalisation: Door PAS 24 and Access Control to cycle store. Racks should be provided with 2 points locks.

Internal Planning and Circulation

CCTV should cover common circulation, reception, cafeteria, cycle store and terraces/roof.

Current 2022 Application

We have subsequently met with the MPS to discuss the current application to ensure we met all the current security guidelines and technical requirements. included below a summary of comments.

Again in general, the key principles of the scheme were supported by the advisor and no fundamental concerns raised.

A summary of comments is provided below. These will be addressed as part of the detailed design development of the scheme.

- Terrace doors to be updated to PAS 24:2016. Previous notes stated PAS 24:2014
- Ground floor glazing required to be at least P4 rated and any curtain wall to be RC3
- No break glass boxes to be installed but instead
- Push to exit button with integrated emergency button below with automatic reset
- Destination control to the lift which would potentially remove the need for security barriers
- CCTV in lobby of cycle store, retail, lobby of WC/ CCTV to refuse room
- Doors to cycle store not required to be glazed
- PAS 24 to shower rooms and fob access
- Door to stair core push to exit into core
- No issue that in an emergency exiting via other tenancy
- Need to put a postal strategy in place to be discussed with client
- PAS 24 rated doors from level 08 to terrace
- CCTV not required at level 08 terrace by DOCO
- Louvres to be welded steel to refuse and door to be PAS24 passive leaf will need to be bolted down from inside

4.0 Design Evolution

4.0 Design Evolution

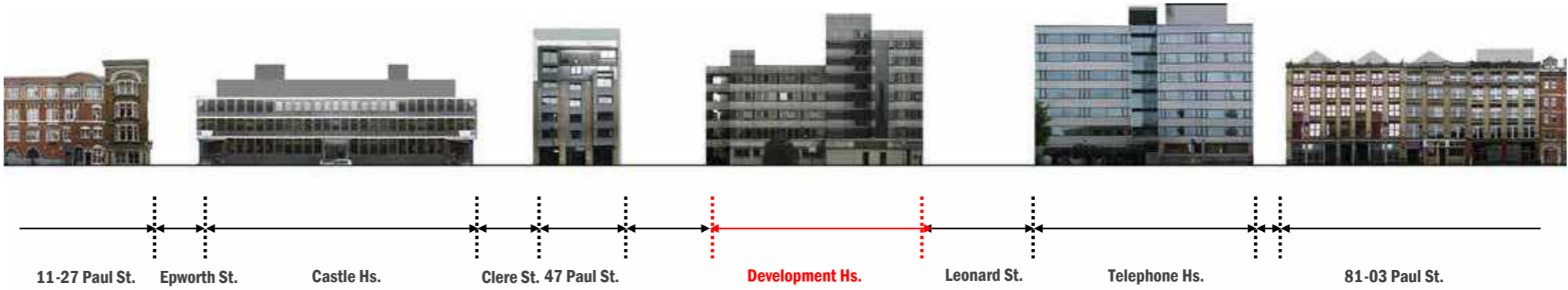
4.1 Massing Strategy

MASSING STRATEGY cont.

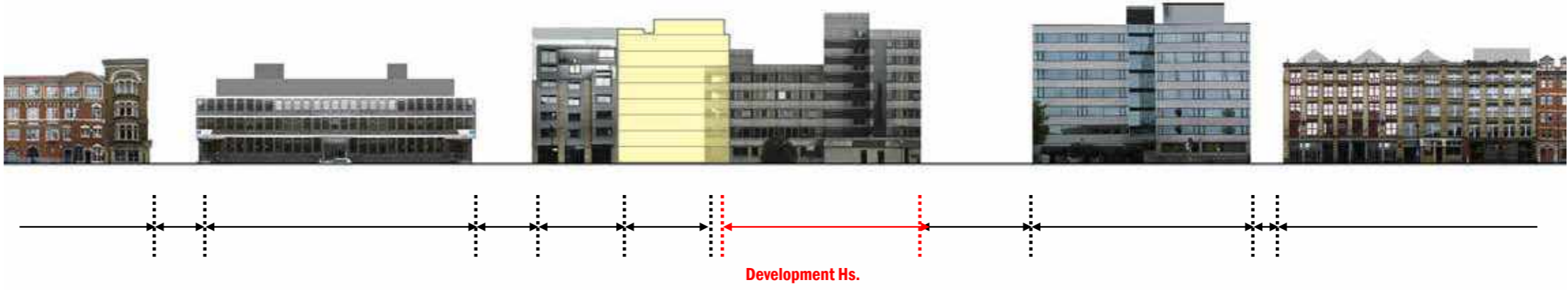
The resulting massing of the building is shown on the diagram on the right inserted on the streetscape of Paul Street.

The increase in height towards the corner marks the importance of Leonard Circus as an important node in the area.

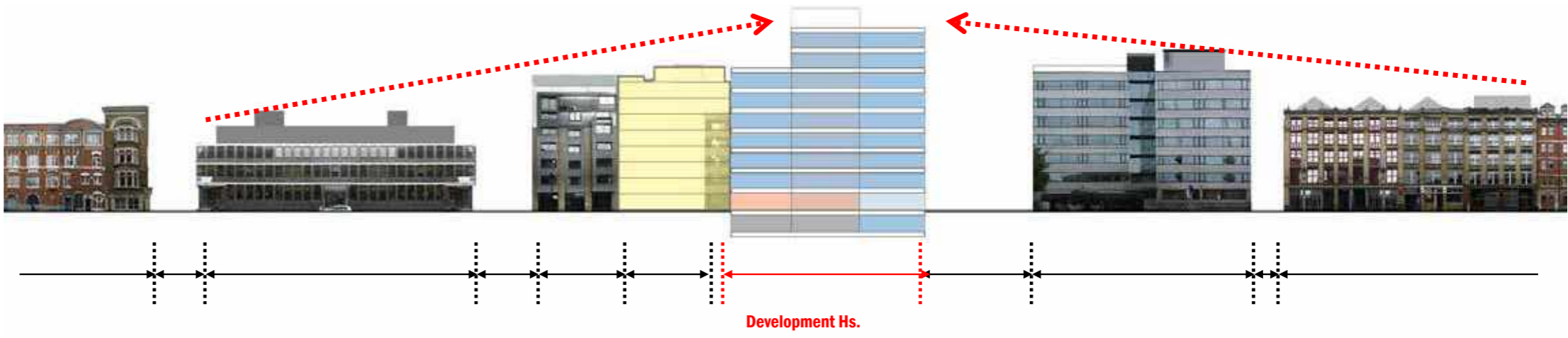
The massing for the hotel at the 49-51 Paul Street have been added in yellow to show the increasing of the heights of the buildings in the block, from the 17 Clere Street to the proposals.



Paul Street Elevation Existing



Paul Street Elevation - Adjacent Site Consent



Paul Street Elevation - Proposed

4.0 Design Evolution

4.2 Design Development

The below outlines the design development that took place via the pre-app process with Hackney for the 2019 permission.

MASSING EVOLUTION

Through the various studies and discussions with the London Borough of Hackney, the massing of the project was developed and refined, as shown in the images to the right.

PRE-APP 01 MASSING

The maximum height of the building on the corner of Leonard Circus is GF+8, with set-backs at GF+4 to Leonard Street, Paul Street and Kiffen Street.

A second setback from the adjoining site to the South is at level 07, where the main accessible terrace of the building was located.

The roof was proposed not to be accessible and only the plant rooms are located at this level.

LBH received favourably the massing strategy but considered an eight of GF+6 storeys with an 8th storey set back more appropriate for the area.

PRE-APP 02 MASSING

The second iteration of the massing responded to LBH request to reduce the height of the building to a maximum of GF+6 storeys + an additional level set back.

The original strategy to raise towards the corner is diluted as the area lost on the upper levels is re-distributed on the flanks. The set-backs start at GF+5, one floor above the first iteration. In this iteration the new mass fills the blocks almost with a constant height, taking an approach typical of the warehouse typology. The top is celebrated by projecting windows on the sides and extend to Kiffen Street.

In this iteration the core moved away of the facade and inside the building and the roof is made accessible .

LBH considered the 2nd iteration of the massing not as successful as the first.



Pre-App 01 massing



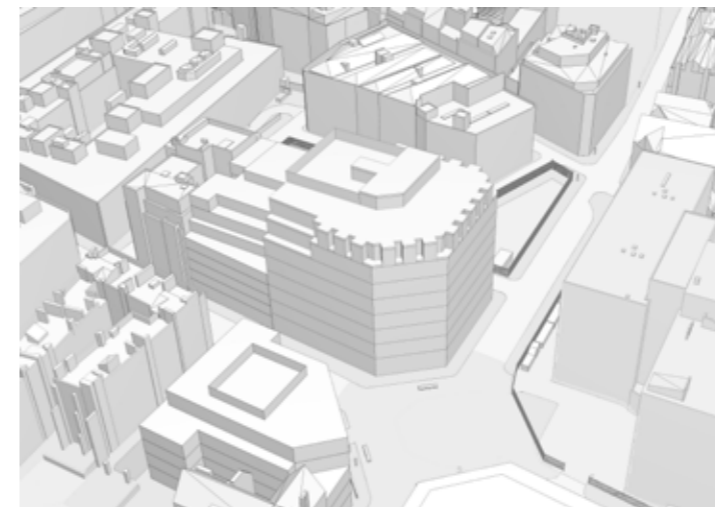
Pre-App 02 massing



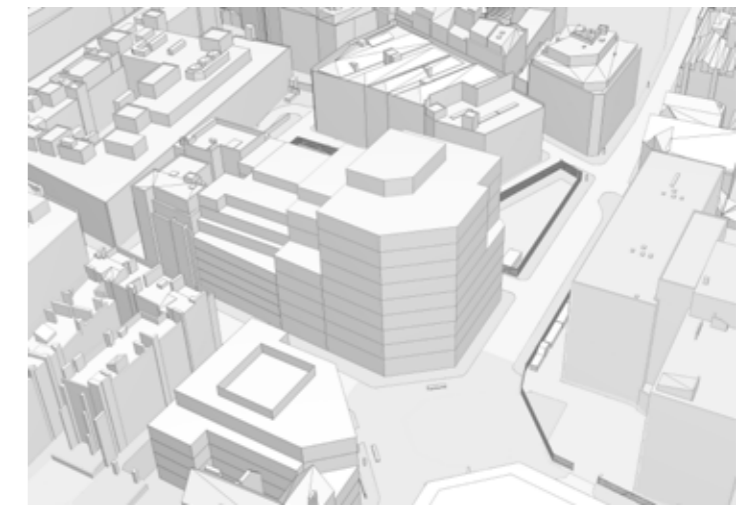
DRP massing



Pre-App 01 massing



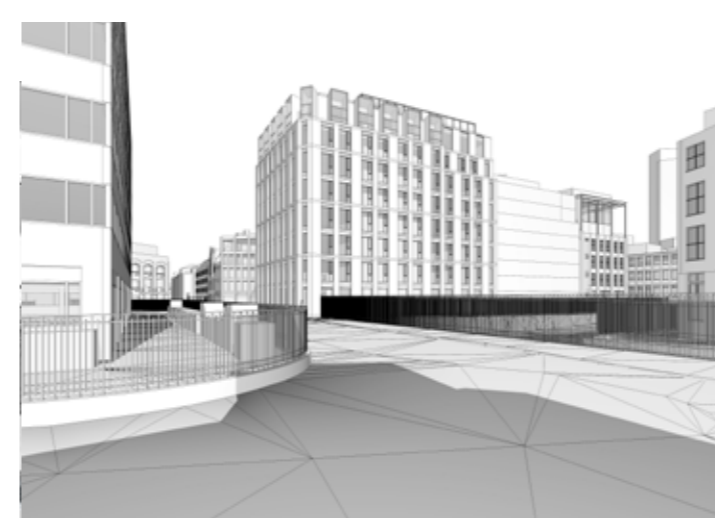
Pre-App 02 massing



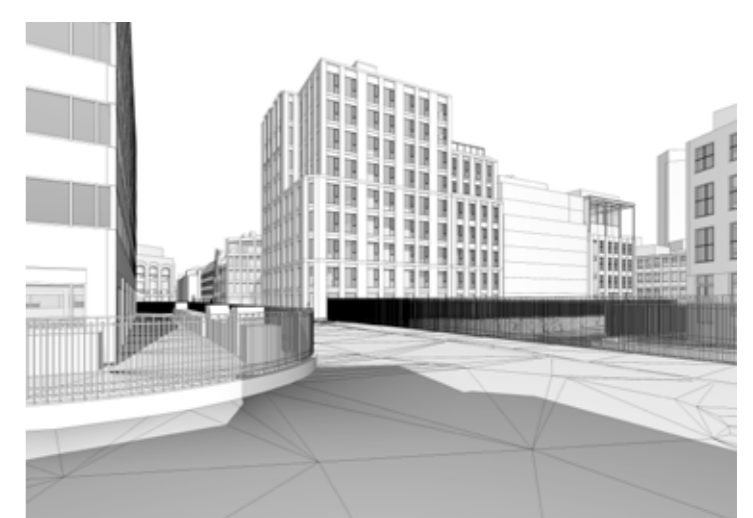
DRP massing



Pre-App 01 massing



Pre-App 02 massing



DRP massing

4.0 Design Evolution

4.2 Design Development

The below outlines the design development that took place for the 2019 permission.

DRP MASSING

For the third iteration of the proposals, which was presented to the Design Review Panel, the plant area previously located at roof level were moved to level 07 and the roof terrace was proposed as accessible, as in the second iteration of the massing.

The location of the core inside the building is consolidated to mitigate its impact on the critical views.

Early studies of the facade treatment using a palette of brickwork tones and bonds taking their expression from those of the surrounding area, as presented at the Design Review Panel, are shown on the right.

LBH DESIGN REVIEW PANEL COMMENTS

The LBH Design Review Panel for Development House was held on the 24th of August. The DRP has welcomed the proposal and broadly supported its massing strategy and height.

As stated in the DRP comments issued on the 12th of September, *'The design should be a 'Place-making' building that robustly "holds" the corner, and becomes a local landmark. The Panel's advice is for the architects not to be held back, or unduly influenced, by what might happen on neighbouring sites. Instead the architects should be bold, and set the datums that other future developments will then have to respond to.'*

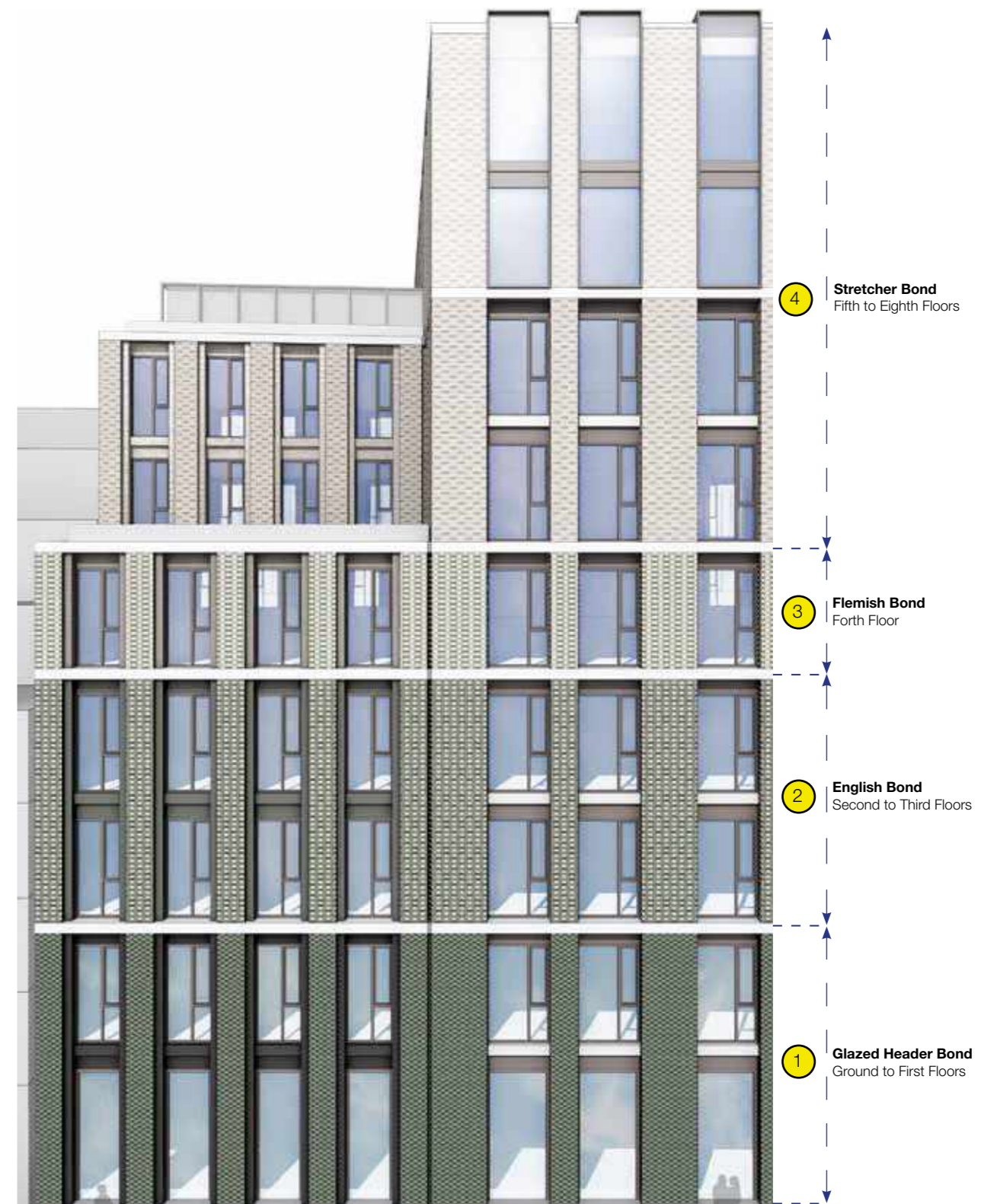
The DRP felt the height of nine storeys *'to be acceptable for this significant, corner site facing onto an open public space.'*
'The ratio of nine storeys on the corner stepping down to 5 storeys is considered to be the right approach, subject to meeting the relevant sunlight/daylight tests'.

The Panel was generally supportive of the references to decorated, warehouse buildings but felt that

- *'Balance between the vertical and horizontal elements of the elevation might be further refined';*
- *'Green tile and patterned brickwork and bonds appropriate but range of effects might be reduced';*

In order to improve the active frontage of the development, the DRP suggested moving the substation away of the Public Real and incorporating an additional entrance on the corner of Leonard Street to Kiffen Street.

The following chapter 5.0 *Design Proposal* describes the submitted proposal as it has developed since these initial studies taking on board the comments on both LBH design officers and the Hackney Design Review Panel.



Early design evolution; Façades Bonds and Tones presented to the Design Review Panel

4.0 Design Evolution

4.2 Design Development

PLANS EVOLUTION

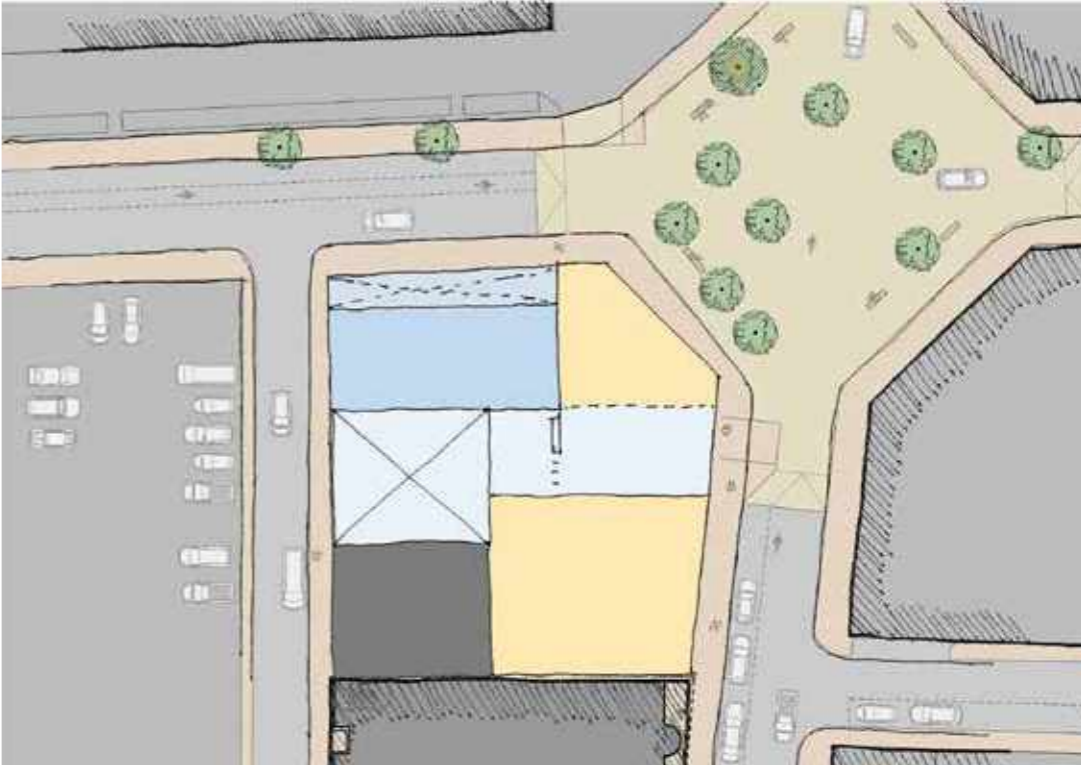
From the early stages, the plans of the building have evolved to improve the building's relationship with the surrounding Public Realm and the overall functionality of the building and the quality of its design.

How the proposal would relate to the surrounding streets and the Circus was a key consideration of the early iterations of the scheme, as emphasised by the studies for the location of the main entrance of the building.

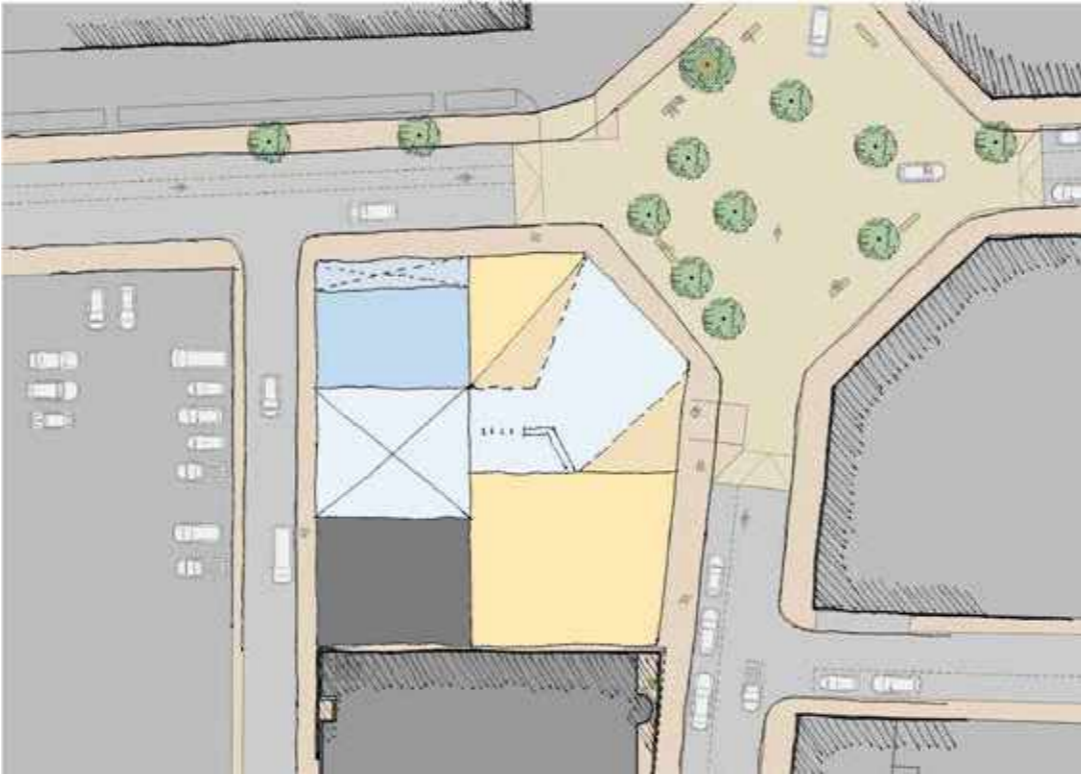
The entrance from Leonard Circus was considered more appropriate and retained.



Early study entrance location



Early study entrance location



Early study entrance location

4.0 Design Evolution

4.2 Design Development

PLANS EVOLUTION

The Ground Floor layout has evolved over the development of the design to improve the active frontage of the building and allow for the highest permeability of the building facade.

- The core has been moved away of the facade to allow for openings and natural light income to all elevations;
- The office area at ground floor has moved from Leonard Street to Paul Street;
- The substation has moved from the north-west corner of Leonard Street facade to Kiffen Street, and the active frontage was extended to all GF elevations to public streets, as suggested by LBH DRP.



Pre-App 01 - GF Plan



DRP - GF Plan



Pre-App 04 - GF Plan

4.0 Design Evolution

4.3 Key View Points

KEY VIEWPOINT STUDIES

Through the Pre-Application process, a series of key view points have been developed to assess the design in its context and early iterations of the scheme tested how they would relate to the surrounding streets and the conservation areas.

The original four views are shown here;

- View from Paul Street looking north and south;
- View from Leonard Street looking East and West, from and towards the South Shoreditch conservation Area.

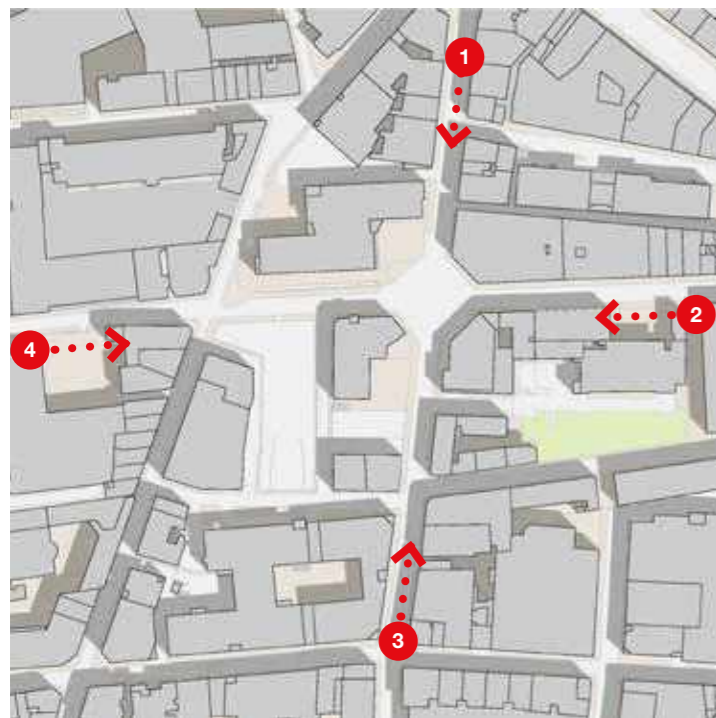
Due to the layout of the surrounding streets the building is more often than not seen in the oblique in longer views, which these views demonstrate.



View 1. Paul Street looking South (early study)



View 2. Leonard Street looking West (early study)



Key viewpoints



View 3. Paul Street looking North (early study)



View 4. Leonard Street looking East (early study)

5.0 Design Proposal

The proposed scheme does not change the form, massing, height design aesthetic of the 2019 permission and subsequent MMA.

Some changes have been made to the proposal to bring the proposed scheme up to date with current planning policy.

This includes:

Increase urban greening factor: The roof, terraces and some walls have been designed to increase planting and biodiversity. The Urban Greening Factor, as set by The London Plan, score of 0.3 has been met by the scheme.

Air Source Heat Pumps: CHP has been replaced by the highly efficient air source heat pumps on the roof of the building. Air source heat pumps transfers heat from outside air to water, which then heats the building via radiators or underfloor heating.

Increased cycle facilities: The proposal will meet the Hackney Council's and The Mayor of London's cycle facility target numbers. The proposed cycle store will be located at lower-ground level and will provide secure facilities for cyclists.

5.0 Design Proposal

5.1 Use and Amount

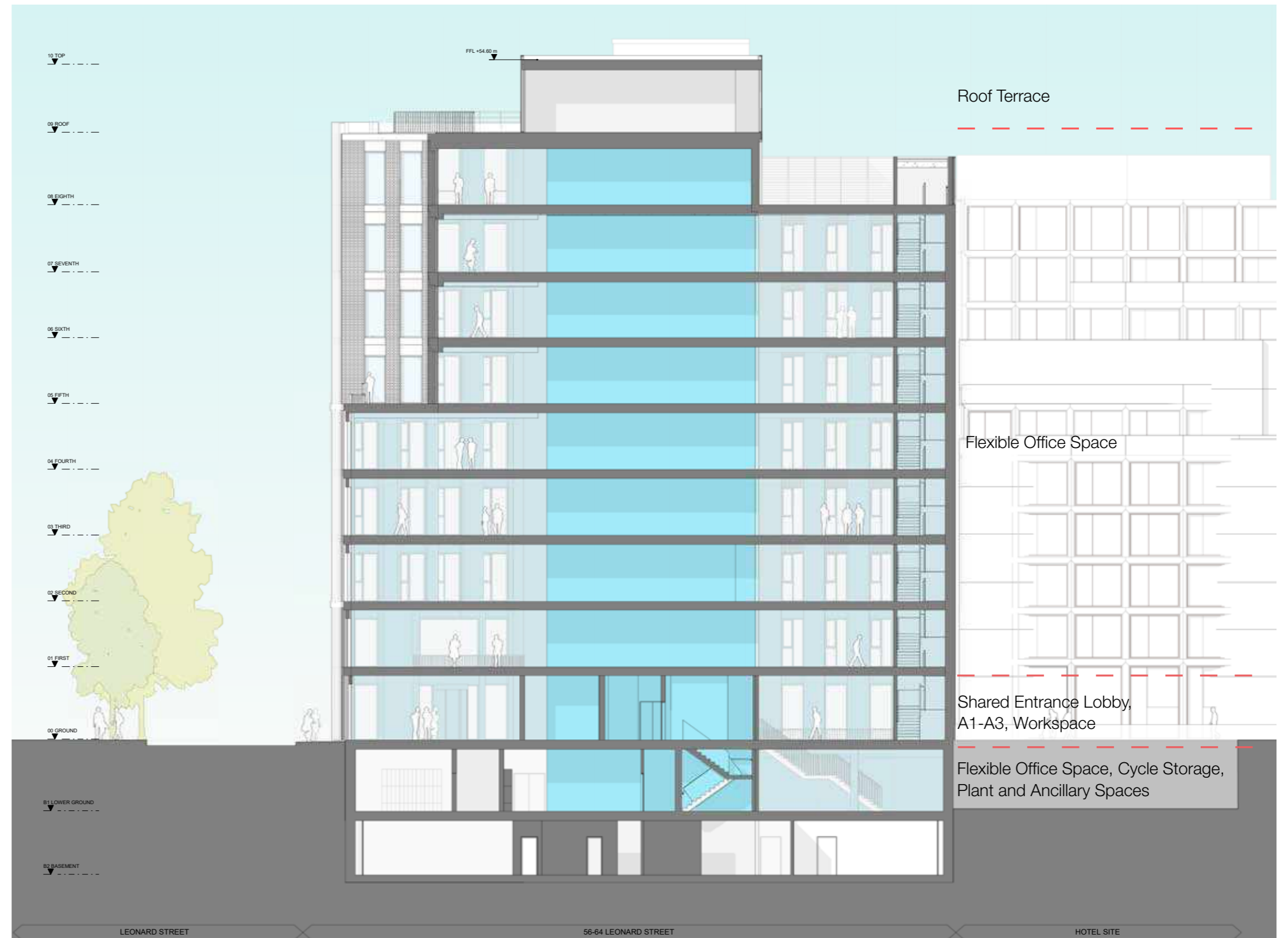
The re-development of the current Development House site seeks to provide high quality office space, consistent with the location of the site in the priority employment area, with a mix of uses at ground floor that make a positive contribution to the area and has the opportunity to actively support the local economy whilst bringing life and animation to the Circus.

The building offers an inclusive ground floor lobby space integrated with A1/A3 activities. This will activate the street frontage around the site, whilst an internal and active lobby space allows access to the vertical circulation of the building.

Immediately above the ground floor eight floors of flexible office space are proposed with an additional small office space located at the level of the accessible terrace.

The mix of uses proposed is summarised below and in the adjacent section.

- c.77,953 sq. ft flexible office space;
- 10% min. affordable workspace on the ground floor and lower ground;
- A ground floor lobby that includes entrances to the offices, the A1-A3 activities, as well as affordable offices;
- 211 secure cycle parking spaces, accessed via a bike lift, and incorporated into the office levels and a minimum of 10 visitor cycle parking spaces in the Public Realm in front of the building's entrance;
- An occupant terrace at roof level 09.



Proposed north-south section

5.0 Design Proposal

5.2 Scale and Massing

The form, shape and mass of the proposed building has responded to the site, surrounding context and the aspiration to provide new active frontages around the building. The taller part of the building is located in front of the Circus and marks the corner between Leonard Street and Paul Street.

The images to the right show the existing (top images) and proposed massing (bottom images) of the proposal, from Leonard Circus and from Leonard Street looking east.

The existing mass of the building lacks of relationship with its surroundings and specially with the recently re-developed Circus which the proposed mass seeks to repair.

The diamond shape of the historic Leonard Square is made visible by the reinstate of the original blocks, with only Telephone House site left as a fragment all be it with planning pending for this site.



View from the Leonard Circus - Existing



View from the Leonard Street - Existing



View from the Leonard Circus - Proposed



View from the Leonard Street - Proposed

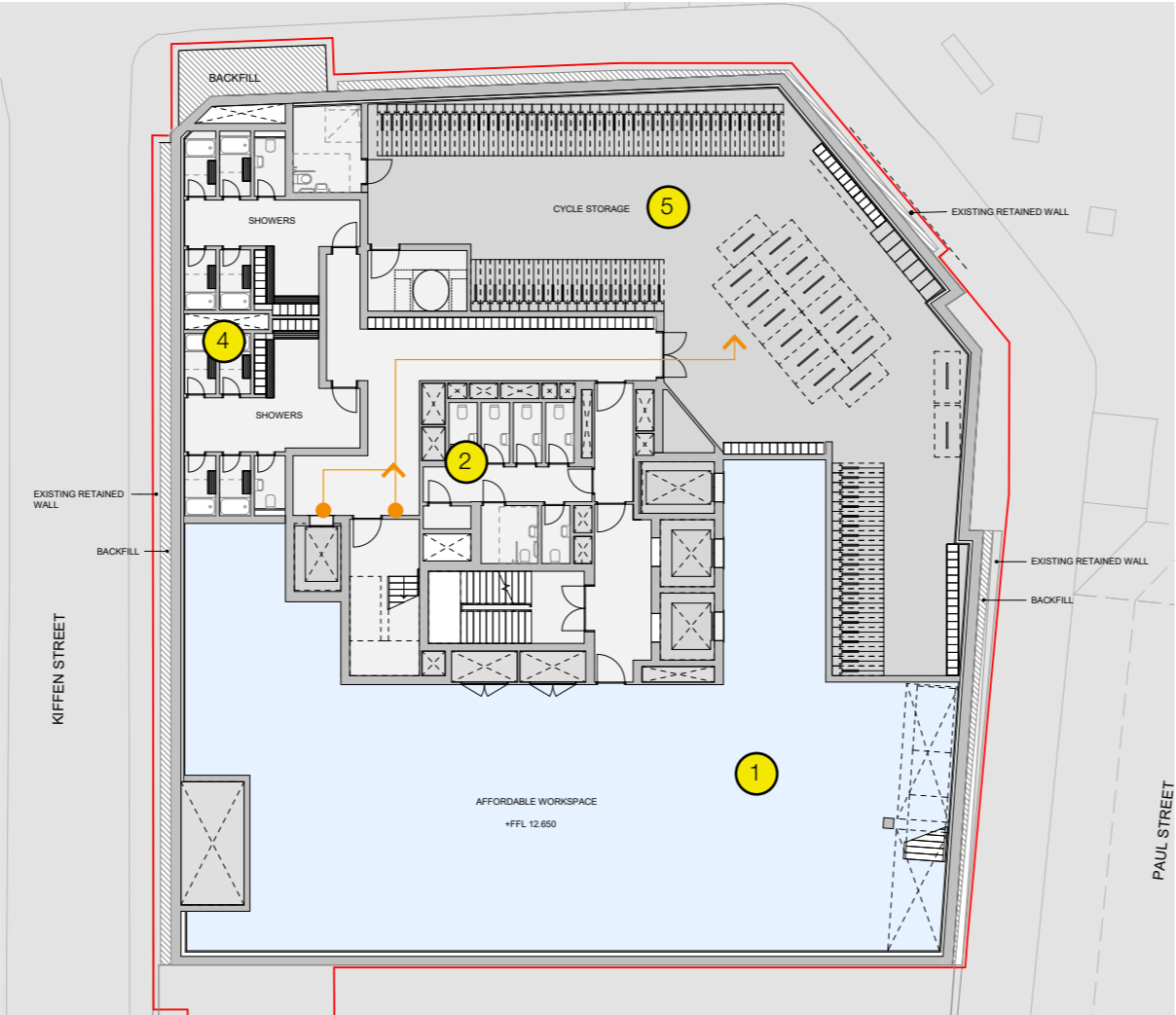
5.0 Design Proposal

5.3 Layout

LOWER GROUND FLOOR

Houses part of the affordable office, the cycle store and facilities.

Access to the secure cycle store is by a bike lift, accessed via the secondary ground floor entrance on Kiffen Street. The cycle store accesses the main building through a secure lobby which also serves as access to the bikers facilities. Secure locker spaces are to be provided in the bike store.



Proposed Plan – Lower Ground Floor

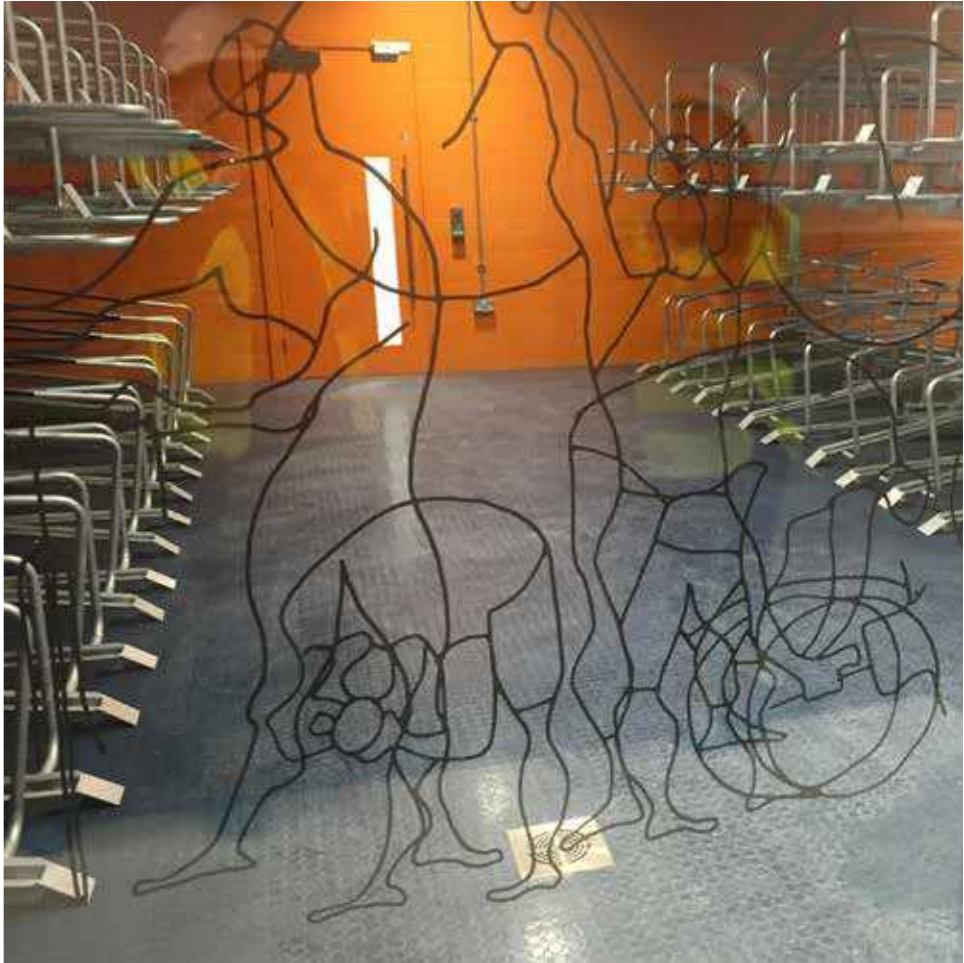
- Key
- Cyclist access from Ground Floor
 - Affordable Workspace
 - Core
 - Plant
 - Cycle Facilities
 - Cycle Parking



AHMM Precedent - Cycle Facilities



AHMM Precedent – Tea Building; Affordable and Innovative Workspace



AHMM Precedent – Secure Bike Storage

5.0 Design Proposal

5.3 Layout














GROUND FLOOR PLAN

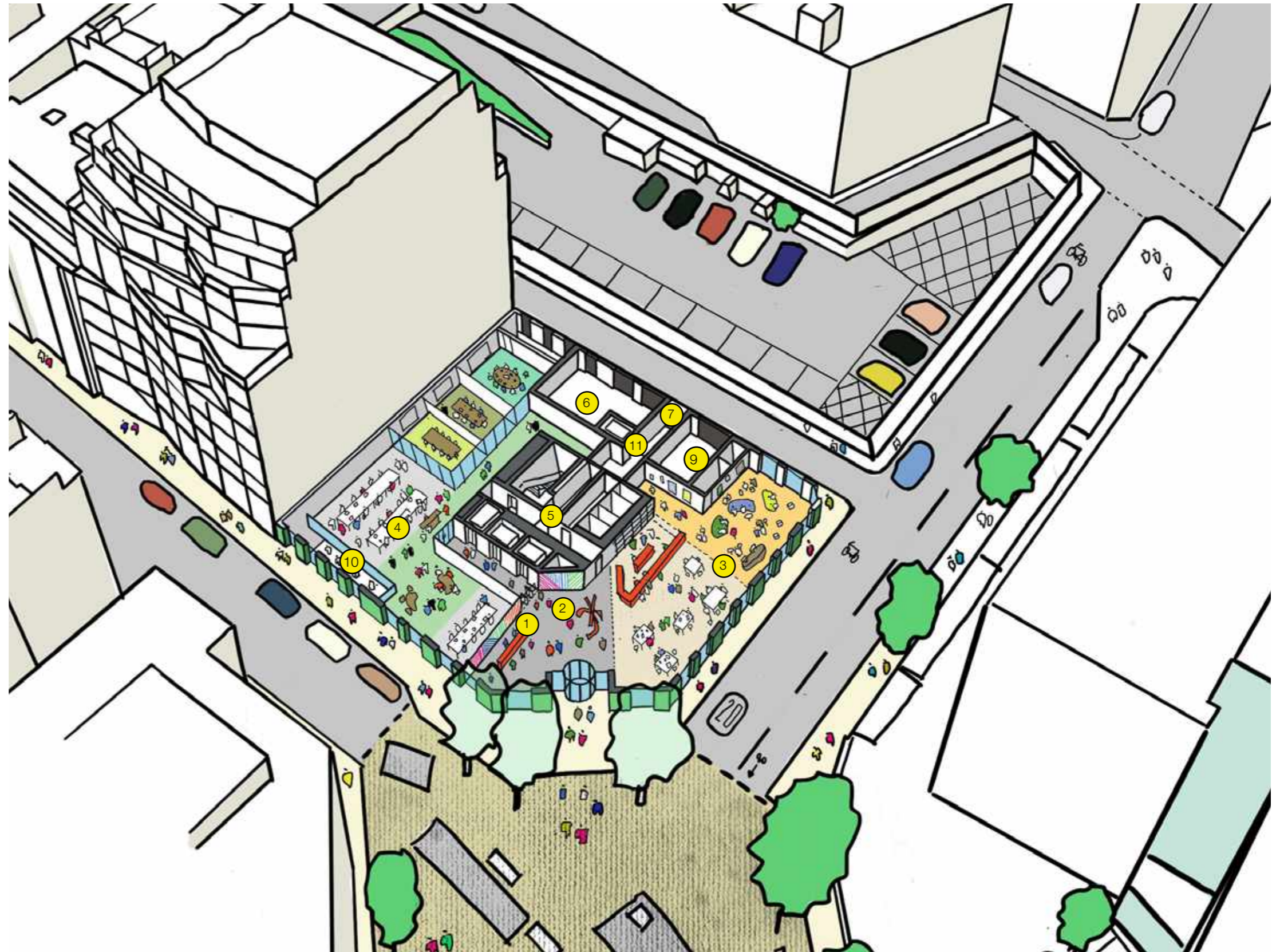
The diagram shown adjacent seeks to illustrate the key components of the ground floor plan.

The main entrance is on the facade fronting Leonard Circus and is set-in from the main line of the facade, marking an improved relationship with the public realm and providing a more civic scale to the entrance of the building.

The main entrance gives access to an inclusive ground floor lobby space from which both the office and the A1/A3 activities of the development are securely accessed. A second entrance to the A1/A3 activities is located at the corner between Leonard Street and Kiffen Street.

The A1/A3 activities accessible to the public (restaurant, cafe or retail) activate the street frontage around the site and the internal lobby space.

- Key
-  Cyclist access
 -  Waste Management Access
 -  1 Main Reception
 -  2 Lobby
 -  3 A1/A3 activities
 -  4 Office
 -  5 Core
 -  6 Substation
 -  7 Secondary / Bicycle Entrance
 -  8 Reception BOH
 -  9 Bin Store
 -  10 Double height space GF and to Lower Ground
 -  11 Bicycle Lift



Sketch view of the ground floor plan

5.0 Design Proposal

5.3 Layout

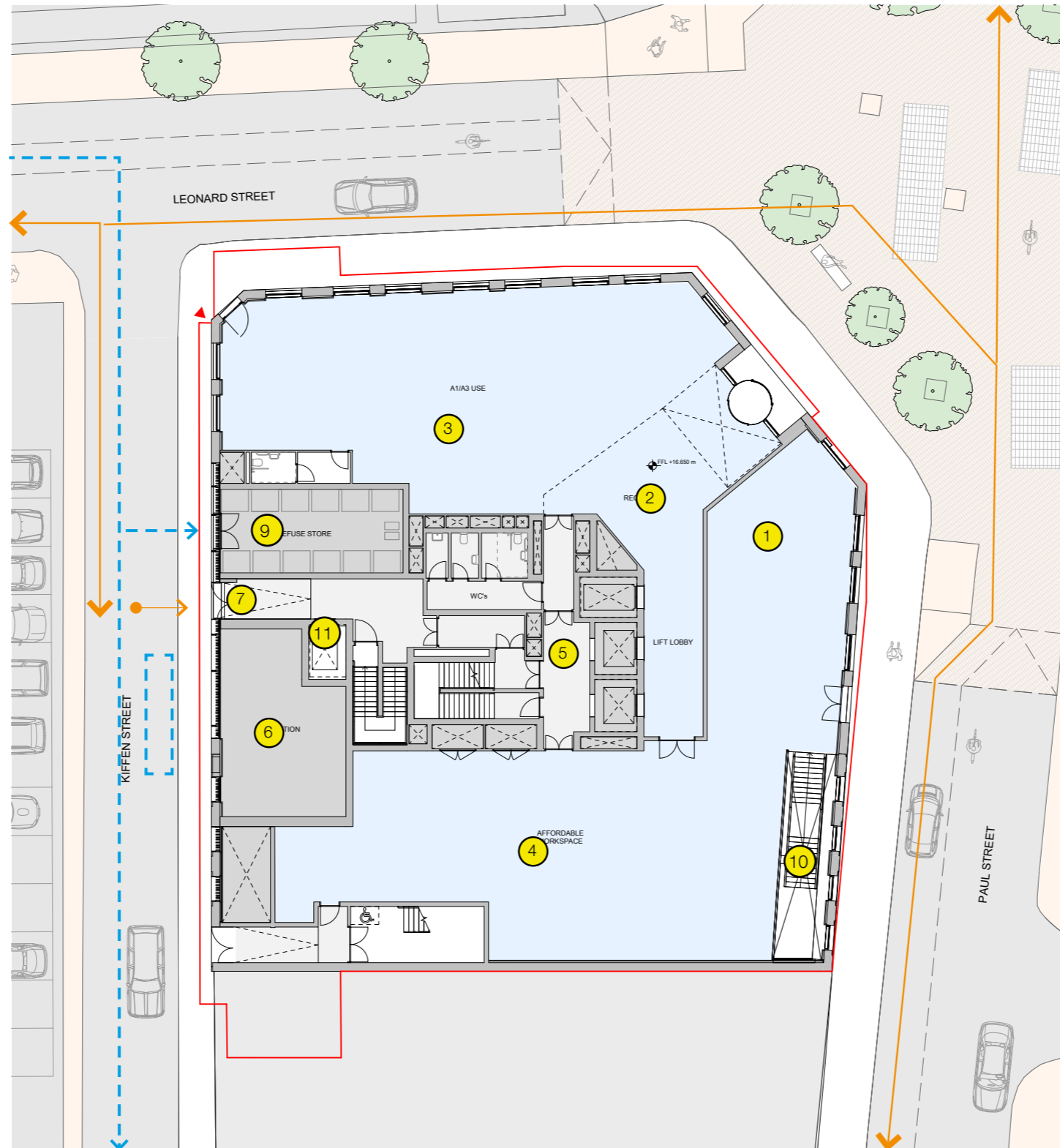
Key to the development of the ground floor plan was improving the relationship of the building to the surrounding streets and also providing a significant proportion of affordable workspace linking to basement spaces with light from above.

The entrance lobby is supported by an A1/A3 activities on Leonard Street, that can be accessed either from the lobby or the Public Realm. Connectivity and visual links across the floor plan are further emphasised with glazed screens separating the spaces. Much like AHMM's work at the White Collar Factory and Grand Union Centre.

Main reception and BoH rooms are located around the central core, provided with 3 passenger lifts (one of which also being a goods lift).

The secondary and bicycle entrance is located on the centre of Kiffen Street facade and gives direct access to the bike lift connecting the ground floor to the basement level where the bike store and facilities are located.

To bin store is located to the rear of the building and the waste collected on the private road Kiffen Street, using the existing right to 24th hours access to Kiffen Street for all purposes.



Proposed Plan – Ground Floor



AHMM Precedent - White Collar Factory



AHMM Precedent - Grand Union Centre; cafeteria



AHMM Precedent - Johnson Building; Providing light to basement

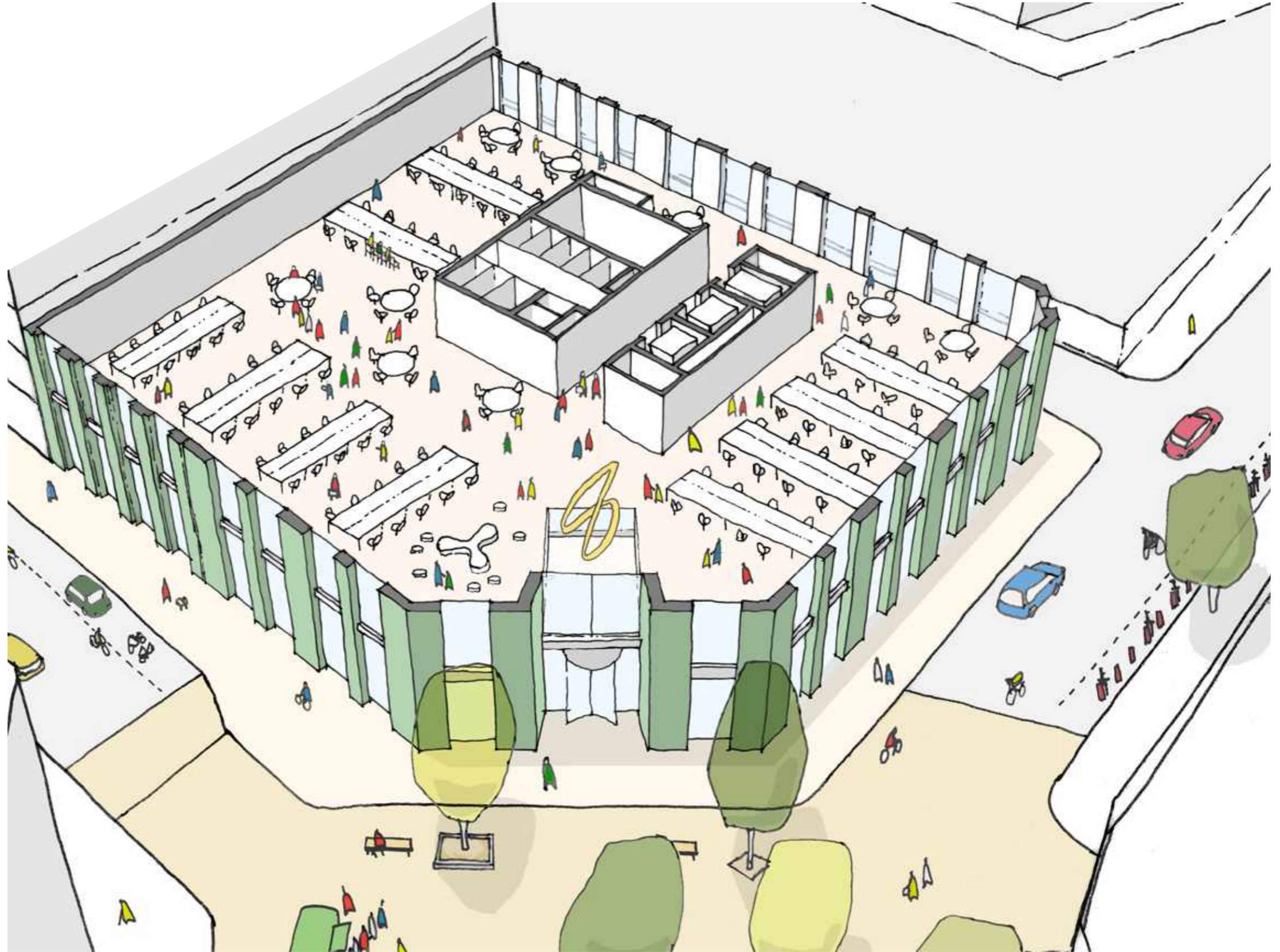
5.0 Design Proposal

5.3 Layout

FIRST FLOOR PLAN

The diagram shown adjacent seeks to illustrate the articulation of the first floor plan.

A discrete double height space visually connects the main entrance at ground floor with the first floor level occupies the corner towards the Circus.



Sketch view of the First Floor plan

5.0 Design Proposal

5.3 Layout

OFFICE LEVELS 02 TO 08

Levels 02 to 04 are the typical floor plates. The floor plates have been designed with flexibility in mind and the core arrangement allows for a subdivision of the floor plate in two tenants. The lift lobby gives a double access to each floor.

At Level 05 the floor plate sets back on the north, east and west elevations based upon the parapet level of the existing building on the block and of the conservation area across Paul Street. The setbacks at this level define terrace spaces landscaped with planters for the use of the office tenants and providing visual amenity for the tenants and surrounding developments.

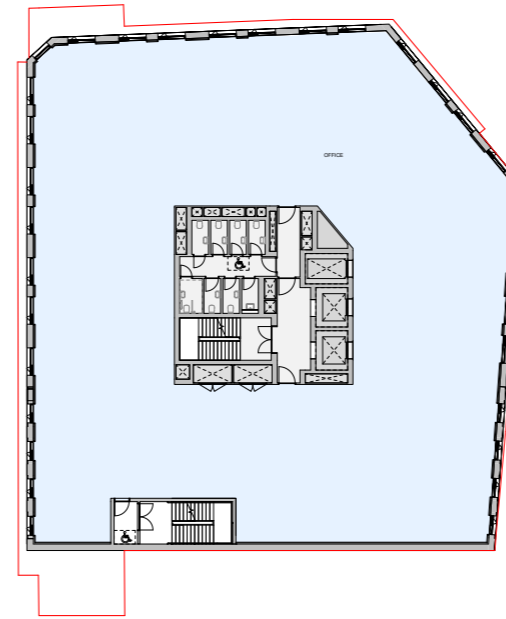
The Level 06 of the office replicates that of the Level 05, but without the external amenity.

At level 07 the floor plate is set back on the East and West further.

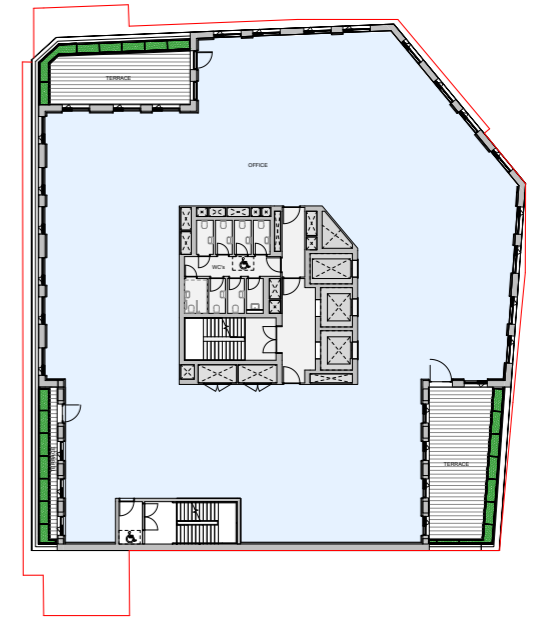
Level 08 setback at this level on the South is defined principally occupied by the external plant of the building, concealed behind an architectural louvred screen and green wall system.



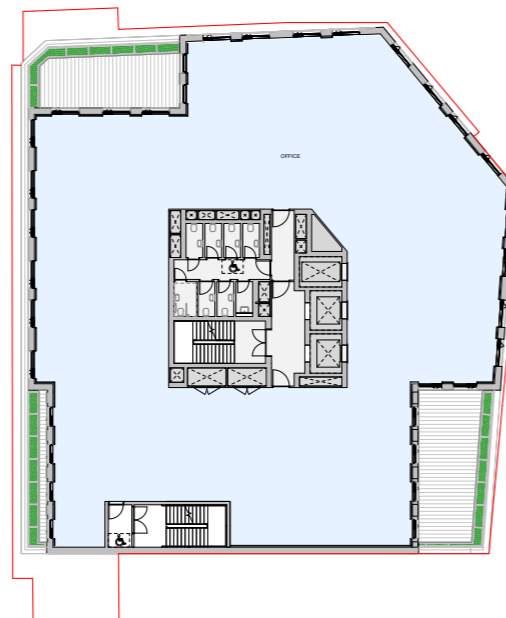
Proposed Plan – Level 01



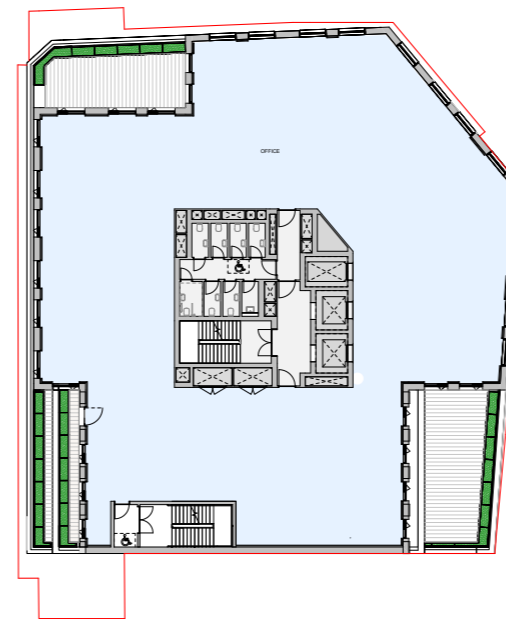
Proposed Plan – Level 02-04



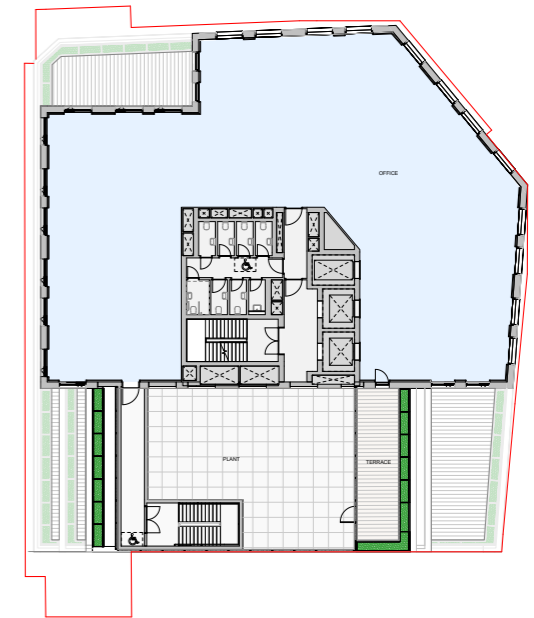
Proposed Plan – Level 05



Proposed Plan – Level 06



Proposed Plan – Level 07



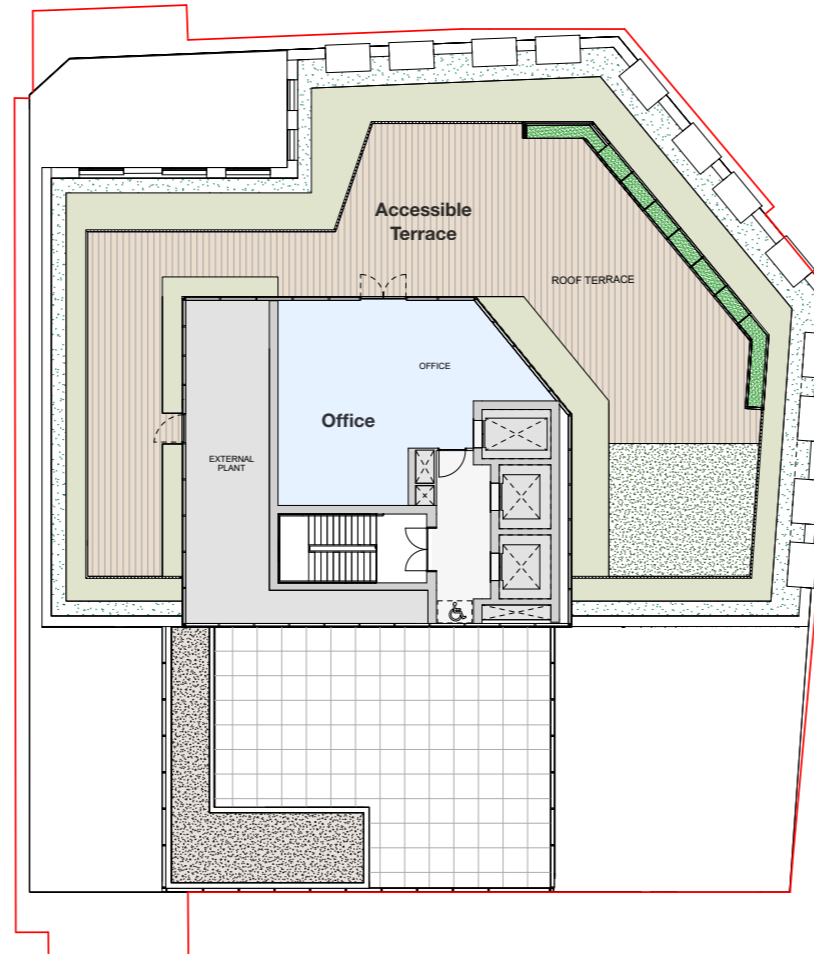
Proposed Plan – Level 08

5.0 Design Proposal

5.3 Layout

LEVEL 09 - ROOF TERRACE

One of the principles driving the design of the proposals was the ambition to occupy the rooftop, whether through terraces accessed from the offices or planted roofs to soften and improve the outlook from adjacent properties. This approach is typical of Shoreditch and has the potential to add to the variety and enjoyment of the building in use.



Level 09 plan showing the access to the accessible terrace



AHMM Precedent - Morelands Building; Roof Terrace



AHMM Precedent - Angel Building; Roof Terrace

5.0 Design Proposal

5.4 Terrace and Roof Planting

It is proposed to use the terraces for planting, with a diverse combination of brown and green planted roof and terrace treatments that will create a rich habitat for wildlife and an inspiring environment for both visitors and building users.

TERRACE PLANTERS

The planting will create a range of spaces, providing visual amenity for the occupants of both the proposed and surrounding buildings.

The planters will be designed as 'intensive' roof gardens to support 400mm depth of topsoil and allow for access by the occupants. The planting will be rain-fed only and will support a range of species tolerant of dry conditions such as plants from Mediterranean climates in Southern Europe, South Africa and California.

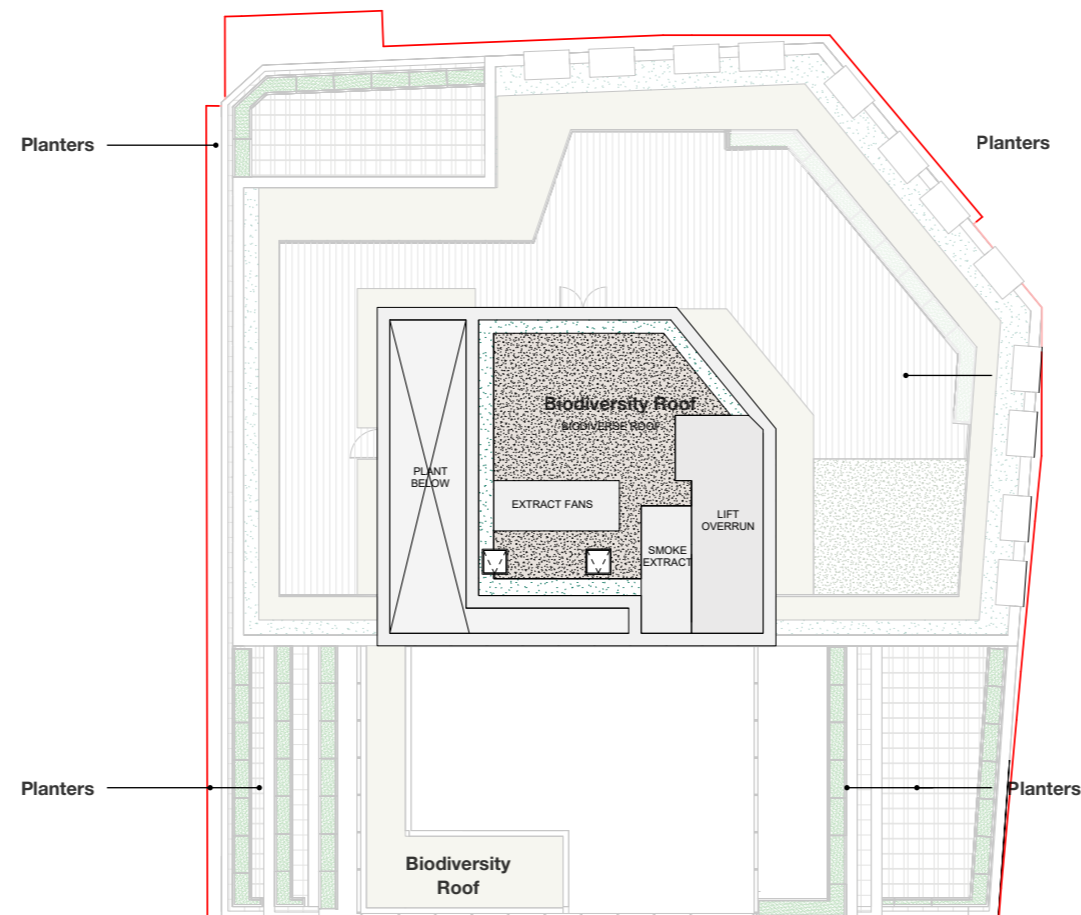
Some of the terraces will be designed as extensive bio-diverse green roof planters including a relaxed mix of colourful sedums with herbaceous wild-flowers providing structure and diversity. The range of habitats created will offer shelter for a variety of wildlife and the planted areas will be accompanied by naturally colonising plants, some native, others typical of London's introduced alien flora.

ROOF PLANTING

The opportunity exists to establish brown or bio-diverse roofs on the uppermost roofs at levels 09 and 10.

The brown / bio-diverse roofs will be approximately 140m². This will have aesthetic and ecological benefits, and will also contribute to the sustainable drainage strategy as evapo-transpiration from the plant species will reduce roof-runoff rates.

The growing medium will be selected to maximise local biodiversity.



Roof plan showing locations of planters and green roofs



Rhus typhina



Eragrostis curvula



Agapanthus cultivars



Ajuga reptans



Lupinus x versicolor



Sedum spectabile



Trachycarpus fortunei



Cistus purpureous



Rosmarinus officinalis Irene

5.0 Design Proposal

5.5 Appearance

21st CENTURY WAREHOUSE

The facade articulation of the Proposed Development takes inspiration from the principles highlighted in the 2.09 Local Character and 2.10 Warehouse Typology sections.

The verticality of the piers define the main order of elements articulating the facade .

The horizontal banding cutting through the piers at level 02, level 05 define the secondary order that subdivide the buildings in bays with an increasing number of floor, progressing to the top of the building: two; three and four floors bays. A second plan of banding sits through the piers.

The sequence of thick and thin piers alternating on the elevations contributes to the articulation of the facade.

The double bricks reveal detail further articulated the lower block of the Proposed Development, breaking the mass in two blocks and emphasizing the rise of the massing towards the Circus.



Verticality



Banding



Tea Building, AHMM



Piers and bay rhythm



Double brick reveal

5.0 Design Proposal

5.5 Appearance

BRICKWORK AND ELEVATION CONCEPT

The analysis of the brickwork in the surrounding area provided the inspiration for employing a plurality of brickwork and tones for the facade treatment, and with it, referencing the area's history in a contemporary manner.

The ambition of the proposals is to create a place of colour and texture, drawing on the character of Shoreditch.

The number of bonds and colour changes of the facade have been refined and simplified through its development. The tones of the brickworks previously incorporating red/brown bricks, as presented to the LBH DRP, have evolved and the green glazed tone has been selected as a base colour for the facade. Its presence is predominant at the base of the building and gradually fades towards its top.

From the early studies with four different brick bond types, the facade concept has evolved and two brick bonds have been chosen: English bond, which have been informed by the older buildings in the surrounding area; and headers bonds, as a contemporary addition to the palette.



5.0 Design Proposal

5.5 Appearance

The headers are provided at ground floor and level one, English bond to all other levels.

A number of brick colours are used within each of the defined areas, providing detail when viewed at close proximity. Three different patterns are applied to the double, triple and quadruple bays that articulate the facade.

The three different patterns are separated by a continuous pre cast concrete band; an abstract interpretation of the cornices and sill bands of traditional buildings. Glazed green bricks are included at all levels, in different percentages, fading towards the top of the building.

The overall tone of brickwork ranges from darker and earthier at ground level, to lighter and brighter at the uppermost levels.

The brickwork tones symbolise the building's connection to the ground and its lightening and reduction of mass as it increases in height.

The presence of the glazed bricks at all level bring consistency and mediate the transition fading towards



Detail View of the black and green glazed headers bond at ground floor

5.0 Design Proposal

5.5 Appearance

FACADE ARTICULATION

Shown here is the elevation to Paul Street at the junction with Leonard Circus to its north.

The volume of the building is broken down in two parts. The separation is emphasised by the recessed brick shadow gap that occurs at the junction between the two parts.

The lower part of the volume to the south presents regular piers decorated with double brick reveals. Brick spandrels panel are setback half a brick from the piers.

Large format windows on both façades are then set back a further half a brick from the spandrels panels to create depth and modulation across the facade. The windows' frame match the colour of the metal spandrels panels on the taller part of the building.

Horizontal bands of white precast concrete give an horizontal rhythm, dividing the facade in blocks of double, triple and quadruple bays, proceeding from the bottom to the top of the building. These are flush with the front face of the piers and further emphasise the relief of the facade.

The precast concrete band becomes continuous and flush with the brick piers at the fifth floor, marking the top of the podium, matching the parapet height of the buildings along Paul Street and across Paul Street road.

Above the podium level the building form steps back. The brick treatment is continued up the facade and provides a continuity of materiality across the form.

The precast concrete band is carried up to form a top coping that marks the second set back of the facade at the 7th floor.



Computer Generated Image, view of building at the junction between Paul Street and Leonard Circus

5.0 Design Proposal

5.5 Appearance

FACADE ARTICULATION cont.

Shown here is the elevation to Leonard Circus.

The facade is articulated by a series of alternate thick and thin brick piers, respectively six and three bricks in width.

The language of vertical piers with setback spandrel panels is retained along with the horizontal expression of the white precast concrete bands.

A second order of precast bands, setback a quart of a brick from the main ones, define each floor.

Metallic effect light brown PPC metal spandrel panels are set back half a brick from the piers. The spandrels set back from the piers accentuate the verticality of the piers.

The metallic effect light brown PPC aluminium windows are retained with large fixed opening lights between the piers.



Computer Generated Image, view from Leonard Circus

5.0 Design Proposal

5.5 Appearance

THE “CROWN”

The design of the facade looks to emphasise the top of the building, in line with the Victorian warehouse typology.

In a contemporary way, the top is celebrated through the expression of the window frames, extended to the full height of the top double bay and projecting externally beyond the external line of the vertical piers, creating a ‘crown’ effect around the three facade fronting Leonard Circus.

At the very top of the building the precast concrete horizontal band is carried up between the projecting frames of the fixed windows to form a top coping.



AHMM Precedent - 1 King William Street



Top section facade fragment, corner Leonard Circus to Leonard Street

5.0 Design Proposal

5.5 Appearance

ACTIVE FRONTAGE

Important principle guiding the design of the proposals is the want for a strong relationship with Leonard Circus recently redesigned Public Realm and to establish a continuous active frontage along Leonard Street and Paul Street.

The main entrance of the building is situated facing Leonard Circus. The entrance is recessed a couple of metres from the external line of the facade, extending the Public Realm towards the building, under the project lines of the upper levels.

Behind large fully glazed curtain walling the areas of the foyer and the retail activities, open to the public, are visible from the surrounding streets and virtually extend the public realm inside the building.



Detail view of the ground floor entrance on Leonard Circus

5.0 Design Proposal

5.5 Appearance

VIEW FROM LEONARD STREET LOOKING EAST

The view on this page shows the elevation to Kiffen Street, visible from Leonard Street looking towards the South Shoreditch Conservation Area.

The fronts of Victoria House and 62 Paul Street on the Circus can be seen on the background.

As described in the *4.1 Mass Strategy* section, the mass of the building steps back to Leonard Street, Paul Street and Kiffen Street facade. On Paul Street and Kiffen Street, the mass steps back twice, at the fifth and seventh floors. The articulation of the set-backs on Kiffen Street and Leonard Street is clearly visible in this view.

The massing is divided in two blocks. The articulation of lower volume facade follows the same principles of the lower volume facade on Paul Street. The vertical piers present double brick reveals, and brick spandrels take the place of the precast bands + metal spandrels of the taller volume.

The top two floors on this elevations are different from the 'Crown' treatment of the three fronts facing the Circus. The upper part of the building is defined by four storeys high bays, with a consistent window type across the whole elevation, from level 01 to level 08.

The full view of the Kiffen Street elevation is only made possible by the gap represented by the car parking site. The likely future development of the car park site, with an height consistent with Leonard Street existing building, would completely hide Development House Kiffen Street elevation in this view.



View of proposal on Kiffen Street from Leonard Street, with the visible setbacks along Leonard and Kiffen Street

5.0 Design Proposal

5.5 Appearance

VIEW FROM CLERE STREET LOOKING NORTH

The image in this page shows the view of Kiffen Street elevation, from Clere Street.

The massing of the consented hotel for 49-51 Paul Street is shown in all views to illustrate how the Proposed Development responds to the surroundings. the massing of the hotel application capture what the LBH considered to be an appropriate massing and a successful integration with the existing massing of the 17 Clere Street.

Therefore, the Proposed Development seeks an integration with both adjoining site massing and the one of 17 Clere Street.

The view shows clearly the progressive rising of the heights towards Leonard Circus and how the set-back at level five is consistent with the setbacks shown by the Kiffen Street elevations.

As stated for the view from Leonard Street, the full view of the Kiffen Street elevation is only made possible by the gap represented by the car parking site and it would be hidden to the view by the development of the park site.



View of proposal on Kiffen Street from Clere Street looking north

5.0 Design Proposal

5.5 Appearance

VIEW FROM PAUL STREET LOOKING NORTH

The image to the right on this page shows the view from Paul Street looking north. The building of Telephone House is visible in the background.

The view perfectly illustrate the crescendo of the heights towards the Circus and the articulation of the setbacks along Paul Street.

The image to the left show the detail of the facade on the side of the setback at level 05 and the accessible terrace at level 09.

The detail of the planters on the edge of the terraces at levels 05 and 07 can be appreciated as well as the projecting frames that forms the 'crown' of the building on the top floors.



Mid section facade fragment view, setback along Paul Street, 1:100 detail model



View of proposal on Paul Street looking north

5.0 Design Proposal

5.5 Appearance

VIEW FROM LEONARD STREET LOOKING WEST

The image in this page shows the view from Leonard Street looking west.

To the left, recessed from the street fronts, the facade of St Michaels Church. Towards the Circus to the left hand side, the facade of St Michaels is barely visible, due to the narrow section of the street.

The top 'Crown' of building raises above the context and marks the presence of the Circus.



View of proposal from Leonard Street looking west

5.0 Design Proposal

5.5 Appearance

LEONARD CIRCUS FACADE BAY STUDY

Shown here are elevation fragments of the treatment of the facade to the corner of the building.

Seven and three brick wide piers run the full height of the building, separated at the second, fifth level by a white precast concrete horizontal band wrapping around the building, finished flush to the face of the pier.

Pre-cast concrete bands, recessed a quarter brick marks the other floors subdivision.

The windows are floor to soffit glazed with a large fixed light and metallic effect dark brown metal spandrels.

Four different bricks are used to create the three patterns assigned to the bottom, middle and top sections of the buildings.

The bottom section pattern is composed of black textured and green glazed bricks in a header bond arrangement.

The middle section of the facade is composed of black and white textured bricks and green glazed brick in a English bond arrangement.

The top section is composed of white and grey textured bricks and green glazed brick in a English bond arrangement.

The colours of the projecting frame of the top 'crown' is metallic effect dark brown, consistent with the colour of the windows' spandrels.



Light grey textured brick



White textured brick



Black textured brick



Dark green glazed Brickwork



5. Metallic effect dark brown PPC metal spandrels and windows frame



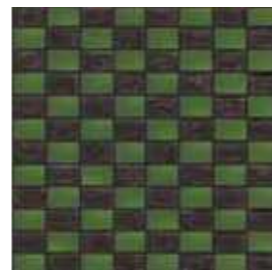
4. Precast concrete horizontal bands



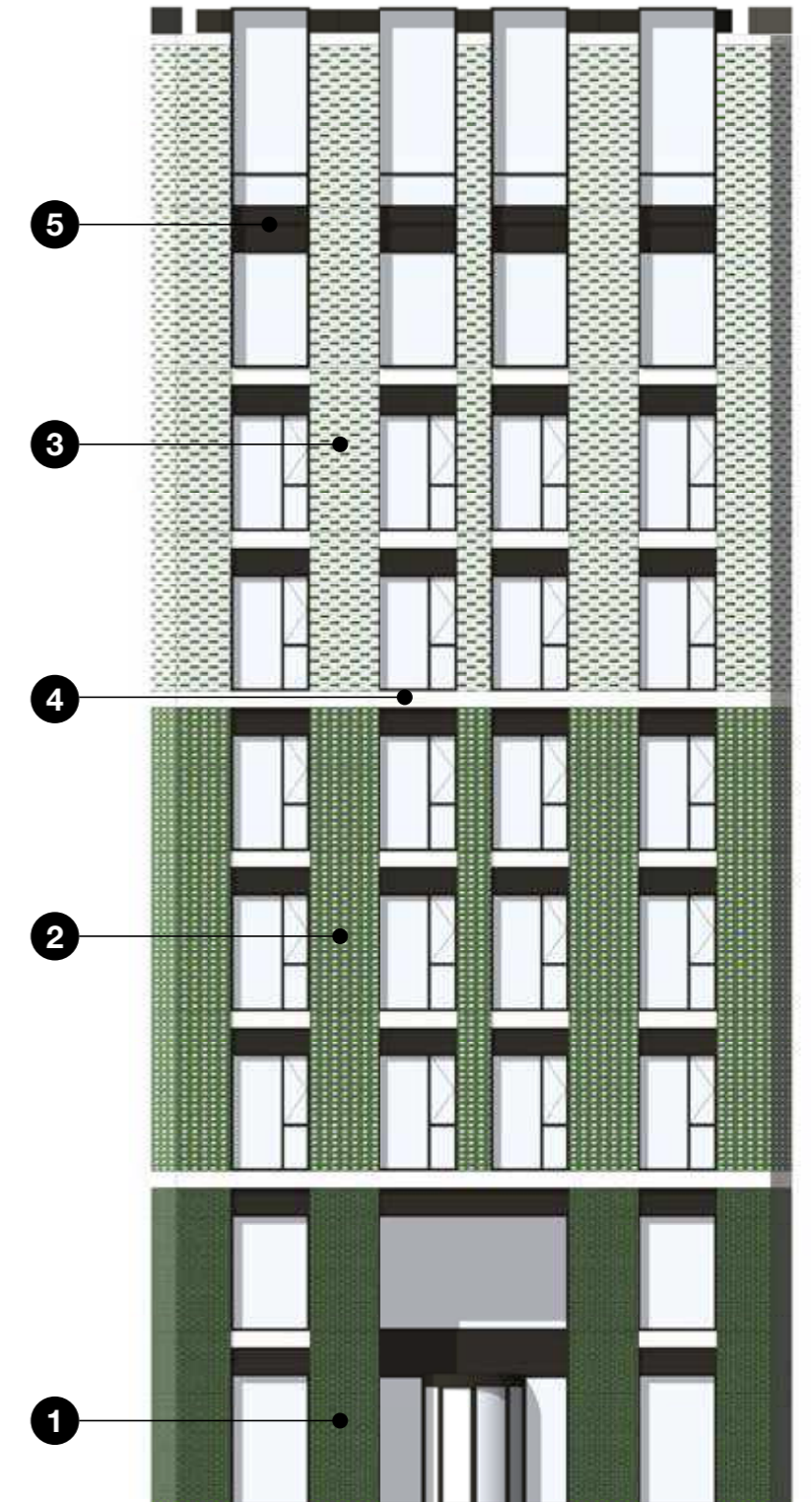
3. Top section pattern and tones
English bond
Green glazed brick
White textured brick
Light grey textured brick



2. Middle section pattern and tones
English bond
Green glazed brick
Black textured brick
White textured brick



1. Bottom section pattern and tones
Headers bond
Green glazed brick
Black textured brick



Proposed Leonard Circus Bay Study

5.0 Design Proposal

5.5 Appearance

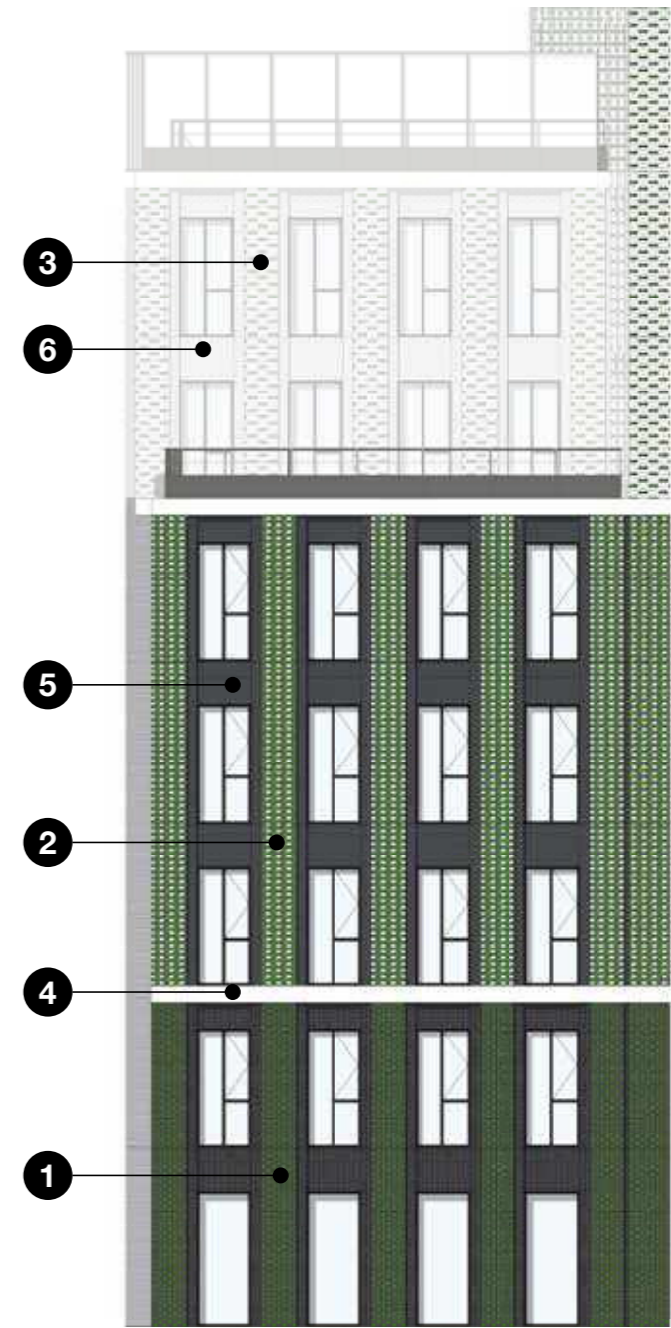
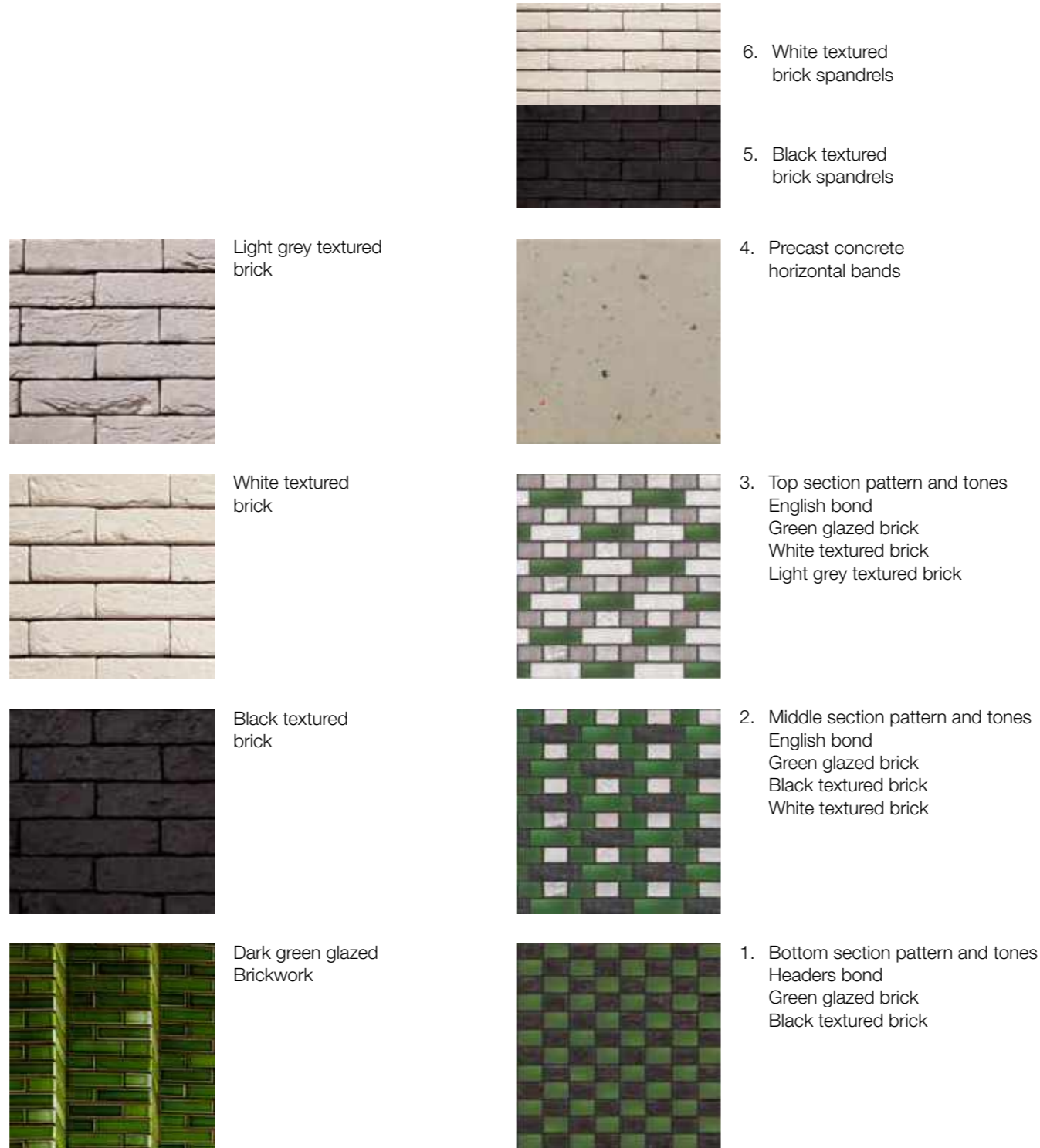
PAUL STREET FACADE BAY STUDY

Shown here are elevation fragments of the treatment of the facade to the lower volume of the building on Paul Street. The same treatment applies to the facade of the lower volume on Kiffen Street.

Five and a half brick wide piers with double brick reveals run the full height of the building, separated at the second level and concluded at the top of the fourth level by a white precast concrete horizontal band wrapping around the building, finished flush to the face of the pier.

The windows are floor to soffit glazed with a large fixed light. At levels 01 to 04, the windows are framed by the piers' double brick reveal and brick spandrels, made of black textured bricks. At levels 05 and 06, the windows are framed by the piers' double brick reveal and brick spandrels, made of white textured bricks.

Bricks bonds and patterns of the bottom, middle and top sections of the facade are consistent with the main elevation.



Proposed Paul Street Bay Study

5.0 Design Proposal

5.6 Elevations



Proposed East Elevation - Paul Street



Proposed North Elevation - Leonard Street

5.0 Design Proposal

5.6 Elevations



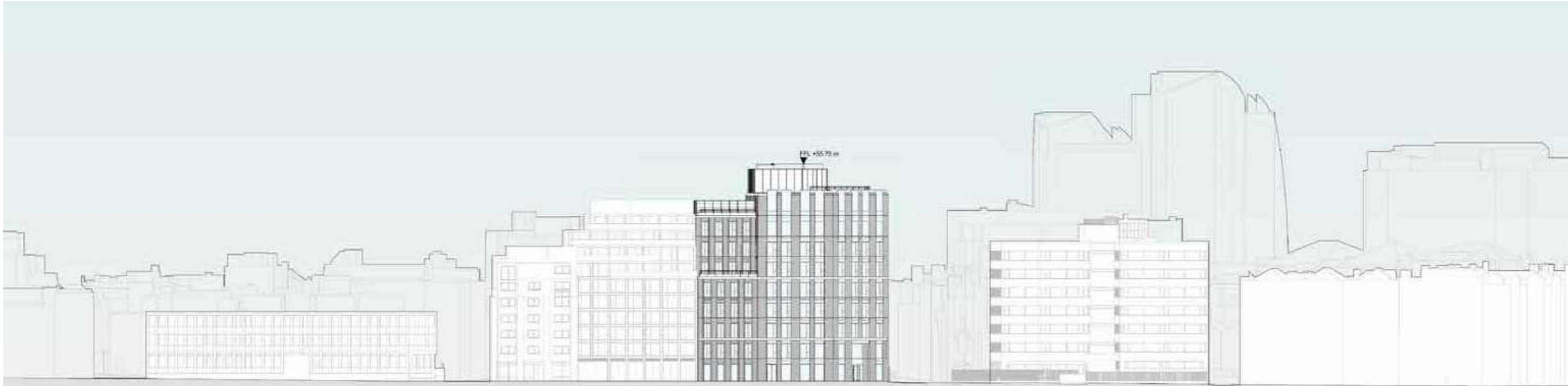
Proposed West Elevation - Kiffen Street



Proposed South Elevation

5.0 Design Proposal

5.6 Elevations



Proposed Paul Street Context Elevation - East



Proposed Leonard Street Context Elevation - North